

## ADDENDUM 1

### 1.1 PROJECT INFORMATION

- A. Project Name: Lockefield, Bryce, Ott Hardscape Reparis
- B. Owner: The Trustees of Indiana University
- C. Owner Project Number: 20230562
- D. Landscape Architect: Landstory, Inc.
- E. Date of Addendum: May 27, 2025.

### 1.2 NOTICE TO BIDDERS

- A. This Addendum is issued to all registered plan holders pursuant to the Instructions to Bidders and Conditions of the Contract. This Addendum serves to clarify, revise, and supersede information in the Project Manual, Drawings, and previously issued Addenda. Portions of the Addendum affecting the Contract Documents will be incorporated into the Contract by enumeration of the Addendum in the Owner/Contractor Agreement.
- B. The Bidder shall acknowledge receipt of this Addendum in the appropriate space on the Bid Form.
- C. The date for receipt of bids is unchanged by this Addendum, at same time and location.
  - 1. Bid Date: May 28, 2025.

### 1.3 ATTACHMENTS

- A. This Addendum includes the following attached Documents and Specification Sections:
  - 1. Prebid Meeting notes and sign-in sheet, dated May 15, 2025, (new).
  - 2. Bid Form (reissued).
- B. This Addendum includes the attached Addendum Drawings:
  - 1. Sheet L101, dated March 31, 2025 (reissued).
  - 2. Sheet ES202, dated March 31, 2025, (reissued).

1.4 COORDINATION ITEMS & CONTRACTOR QUESTIONS ADDRESSED AT PRE BID MEETING

1. IU has specified an August 15 completion date. Are we to include all overtime necessary to make that schedule?
  - a. *Answer: yes, bid to include necessary labor required to complete the project on time.*

1.5 REVISIONS TO DOCUMENTS AND SPECIFICATION SECTIONS

- A. Bid Form (reissued)
  1. Completion date revised: *The Undersigned Bidder agrees to coordinate and expedite his work and shall take into consideration any lead time and schedule parameters with all contractors, and that this Work will be completed no later than Substantial Completion of **September 5, 2025.***

1.6 REVISIONS TO DRAWING SHEETS

- A. Sheet L101 – “Demolition Plan” (reissued)
  1. Added construction staging area.
- B. Sheet ES202 – “Electrical Site Plan” (not reissued)
  1. Pullbox added to provide power to parking lot.

END OF DOCUMENT 009113

**BID FORM**  
for

IN000B Multi-Building – Hardscape Repairs and Site Lighting (Lockfield, Bryce, Ott)  
Indiana University Indianapolis  
Indianapolis, Indiana  
IU 20230562

TO: The Trustees of Indiana University  
Bloomington, Indiana

**\*\*Submit bid online via [www.iuplanroom.com](http://www.iuplanroom.com)\*\***

FROM:

Bidder's Name \_\_\_\_\_

Address \_\_\_\_\_

City, State, Zip Code \_\_\_\_\_

Phone Number \_\_\_\_\_ FAX Number \_\_\_\_\_

**CONTACTS:**

Bid / Contract Information: Name: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

Proposed Project Manager: Name: \_\_\_\_\_

Phone: \_\_\_\_\_ E-mail: \_\_\_\_\_

Indicate if your firm is a certified minority-, women-, or veteran-owned business \_\_\_\_ Yes \_\_\_\_ No

**If “Yes”, please attach a copy of certification**

FOR: **Unified Bid** to include General, Mechanical, and Electrical Construction Work

Bidders:

**LUMP SUM BASE BID**

The undersigned Bidder, with a complete understanding of existing conditions at the Project Site and a complete understanding of the Bidding Documents, including any Addenda acknowledged hereinafter, for IN000B Multi-Building – Hardscape Repairs and Site Lighting (Lockfield, Bryce, Ott) on the Indiana University Indianapolis campus, as prepared by Landstory, hereby proposes to complete the project, in full and complete accordance with the requirements of the Bidding documents, for the LUMP SUM BASE BID PRICE of:

\_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(written amount) (numerals)

**MAJOR SUBCONTRACTORS**

Subcontractors and other persons and organizations proposed by the Bidder and accepted by the Owner and the Owner's Representative must be used on the work for which they were proposed and accepted and shall not be changed except with the written approval of the Owner and the Owner's Representative.

If requested, the supplemental Subcontractors and Products List will be submitted by email to the Owner, [bidtab@iu.edu](mailto:bidtab@iu.edu), and Landstory, Inc.; [cmoore@landstoryla.com](mailto:cmoore@landstoryla.com) within 48 hours of the bid opening. The understanding of the Owner and the design team is that these same Major Subcontractors will be the same subcontractors listed below.

The Contractor proposes to utilize the following primary subcontractors for the work indicated.

**List one major subcontractor per trade.** Any deviation could result in the Owner removing the bid from consideration.

Indicate which are certified by the State of Indiana as an MBE, WBE, or VBE company by circling the M/W/VBE after the name.

Demolition: \_\_\_\_\_ M/W/VBE

Hardscape/Paving: \_\_\_\_\_ M/W/VBE

Landscape: \_\_\_\_\_ M/W/VBE

Electrical: \_\_\_\_\_ M/W/VBE

**ALTERNATE PROPOSALS**

1. Alternate proposals are requested under Alternates of the Bidding Documents. (See Specification Index)
2. The alternate proposal shall indicate the amount to be added to or deducted from the Lump Sum Base Bid if the alternate proposal is accepted by the Owner.
3. The alternate proposal shall include all costs necessary for the complete installation of the materials or items indicated for the alternate proposal, including materials, labor, equipment, operations, administration, overhead, profit, and taxes (as applicable).
4. The alternate proposal shall also include all costs for changes in the work (including work of other Separate Contracts) that will be made necessary by acceptance of the alternate proposal.
5. The Bidder shall submit prices for all the alternates listed below in the manner indicated. Cross out (Add) or (Deduct) as applicable. If there is no change in price to the Lump Sum Base Bid, write in "No Change".

Alternate No. 1: *Credit to this project if the same general contractor is awarded both the following projects: 20230562 and 20240389.*

(Add) (Deduct) \_\_\_\_\_ Dollars \$ \_\_\_\_\_  
(written amount) (numerals)

UNIT PRICES

1. The following Unit Prices shall include all costs necessary for the complete installation of the materials or items indicated, including materials, labor, equipment, operations, administration, overhead, profit and taxes (if applicable).
2. These Unit Prices shall be used to determine the costs for changes in the work during the construction period, when agreed upon by the Owner.
3. These Unit Prices are submitted as a price per unit of measurement for materials or services added to or deducted from the Contract Sum by appropriate modification, if estimated quantities of Work required by the Contract Documents are increased or decreased.
4. The Bidder shall submit one Unit Price for each of the following items, plus any other Unit Prices requested in the Bidding Documents, in the manner indicated.

<u>Item</u>	<u>Unit</u>	<u>Price</u>
1. <i>Sawcut, Pavement</i>	<u>LF</u>	\$ _____
2. <i>Removal, Concrete Paving</i>	<u>SY</u>	\$ _____
3. <i>Removal, Masonry Wall</i>	<u>LF</u>	\$ _____
4. <i>Paving, Concrete, Standard</i>	<u>SY</u>	\$ _____
5. <i>Tree, Shade, 2" Caliper</i>	<u>EA</u>	\$ _____
6. <i>Shrub, #5 Container</i>	<u>EA</u>	\$ _____
7. <i>Shrub, #3 Container</i>	<u>EA</u>	\$ _____
8. <i>Ornamental Grass, #1 Container</i>	<u>EA</u>	\$ _____
9. <i>Perennials, #1 Container</i>	<u>EA</u>	\$ _____
10. <i>Mulch, Hardwood, 3" Depth</i>	<u>CY</u>	\$ _____
11. <i>Shelter Painting</i>	<u>LSUM</u>	\$ _____
12. <i>Bench</i>	<u>EA</u>	\$ _____
13. <i>Bike Rack</i>	<u>EA</u>	\$ _____

TAX EXEMPTIONS

The undersigned Bidder has informed himself and all his prospective sub-contractors and suppliers of the tax exempt status of the Owner, as set forth in the General Conditions, and therefore, has not included these taxes in his Lump Sum Base Bid price.

SUBSTITUTIONS

The undersigned Bidder has based his bid upon the materials, products, articles, equipment, brands, manufacturers and processes described in the Bidding Documents or upon approved equivalents. Proof of equivalency of substitutions is the responsibility of the Bidder, but the Architect/Engineer shall be the sole judge of equivalency. Proposed equivalent substitutions shall be equal in all respects to the requirements of the Bidding Documents, including but not limited to the design, quality, physical size, performance characteristics, strength, previous history of use, and to the method of installation, attachment, or connection to related or adjoining work. Determination of equivalency of proposed substitutions shall be by the Architect/Engineer, before the bid opening date, as described in paragraph entitled "Substitutions" in the Instructions to Bidders.

COMPLETION DATE

The Undersigned Bidder agrees to coordinate and expedite his work and shall take into consideration any lead time and schedule parameters with all contractors, and that this Work will be completed no later than Substantial Completion of **September 5, 2025**.

ASSIGNMENT OF COORDINATION

The undersigned Bidder agrees to the assignment of Mechanical and Electrical work to the successful General Contractor for the responsibility of complete coordination of the work as stated in the Instructions to Bidders.

PERFORMANCE AND PAYMENT BOND

The undersigned Bidder agrees, if awarded the Contract, to deliver to the Owner a satisfactory Performance Bond, in the full amount (100%) of the total Contract price, not later than the date of execution of the contract. The cost of the Bond shall be included in the Lump Sum Base Bid contained in this Proposal.

SUPPLEMENTAL AND REQUIRED DOCUMENTS

Bid Security; State Form 96 (Revised 2013); Written Drug Testing Program, which must be in full compliance with IC 4-13-18; a completed Minority, Women's and Veteran's Business Enterprise Participation Plan; Contractor Asbestos Certification; Asbestos Protocol for Contractors.

ADDENDA

The following Addenda have been received by the undersigned Bidder; and all costs resulting from these Addenda have been included in the preparation of this Bid Form:

Addendum No. _____	Dated _____
Addendum No. _____	Dated _____
Addendum No. _____	Dated _____

SIGNATURES**1. When a Bidder is an Individual:**

_____	_____
Witness	Bidder
Date: _____	Address: _____
	_____

**2. When a Bidder is a Partnership:**

\_\_\_\_\_

Name of Partnership

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Partner

\_\_\_\_\_  
Partner

**3. When Bidder is a Corporation:**

\_\_\_\_\_  
Name of Corporation

Date: \_\_\_\_\_

Address: \_\_\_\_\_  
\_\_\_\_\_

By: \_\_\_\_\_  
President

Attest: \_\_\_\_\_  
Secretary

CORPORATE SEAL

END

**\*\*Submit bid online via [www.iuplanroom.com](http://www.iuplanroom.com)\*\***

## PRE-BID MEETING

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**Project:** 20230562 - IN000B Multi-Building - Hardscape Repairs and Site Lighting  
(Lockefield, Bryce, Ott)  
**Date:** May 15, 2025  
**Time:** 1:00 pm  
**Location:** IUPUI Health Sciences (1050 Wishard Blvd, Indianapolis) Building Conference  
Room 4136

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1. Schedule
  - a. Bids Due - May 28, 2025
  - b. Notice to Proceed - June 5, 2025
  - c. Start Construction – June 9, 2025
  - d. End of Construction – August 15, 2025
2. Alternate No.1 – credit to contractor awarded both projects.
3. Consultant team to verify construction staging area and construction fencing.
4. Pedestrian access to be maintained at Lockefield Building during construction. Consultant team to coordinate maintenance of traffic plan with IU. This will be discussed in the project kick off meeting.
5. Project kick off meeting will include an on-site meeting and discussion about parking lot west walk and curb and associated drainage.
6. Mia will follow up on salvaging the existing light poles.



**Project:** 20230562 - IN000B Multi-Building - Hardscape Repairs and Site Lighting  
(Lockefield, Bryce, Ott)

**Date:** May 15, 2025

**Time:** 1:00 pm

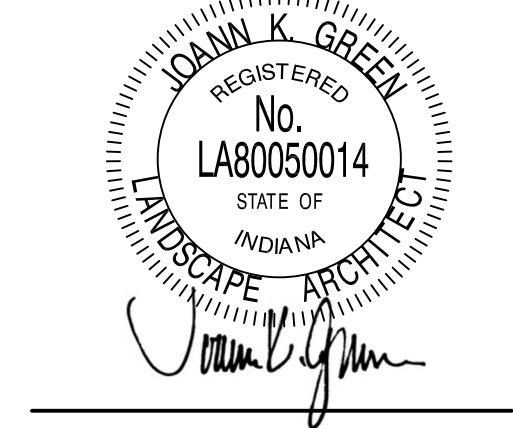
**Location:** IUPUI Health Sciences Building Room 4136

NAME	COMPANY	EMAIL	PHONE
Dino Palmer	IU	NAPAL@IU.EDU	317.278.2614
Shane Palmer	Rigdon	RigdonConstruction.com	317-446-2199
ANDREW LIVINGSTON	IUOL	ALIVINGSTON@IUOLUSA.COM	317.361.0979
Mia Williams	IU	miawilli@indiana.edu	(812)855-1266
JOAN GREEN	Landstory	jgreen@landstoryla.com	317.625.2652
Randy Jones	R2 Turner	vjones@r2turner.com	402-410-1743
Chris Moore	Landstory	cmoore@landstoryla.com	317.625.2852



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Seal



Project  
Lockfield, Bryce, Ott  
Hardscape Repairs

Client  
INDIANA UNIVERSITY  
ARCHITECT'S OFFICE  
ENGINEERING SERVICES

SERVICE BUILDING  
1800 N. RANGE ROAD  
BLOOMINGTON, IN 47408

Dates  
May 2, 2025

Revisions

1	Addendum 1
2	
3	

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Project Manager

JG

Drawn \_\_\_\_\_  
CM

Checked \_\_\_\_\_  
JG

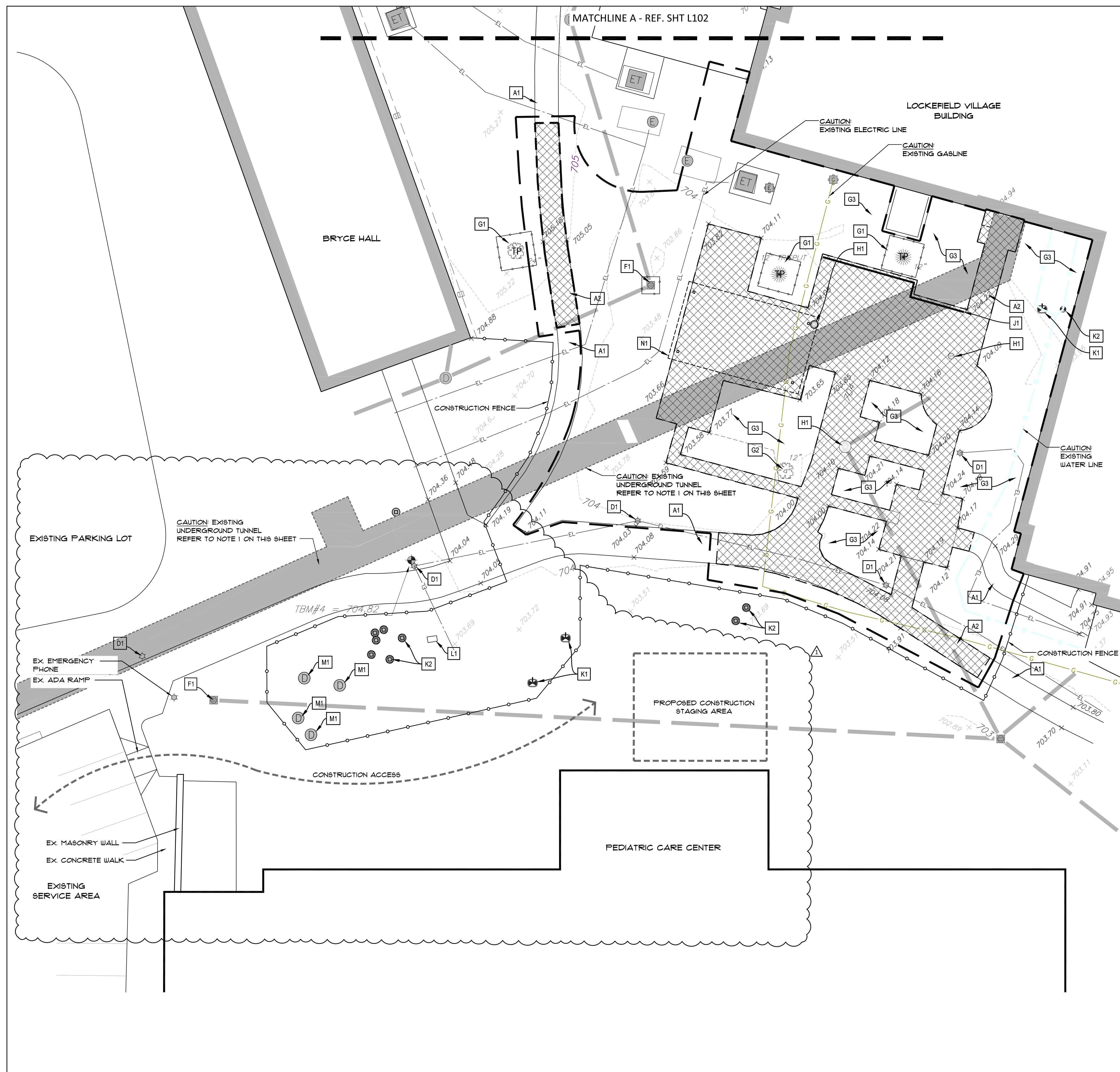
Project Number  
IU #20230562

Sheet Title

DEMOLITION PLAN

Sheet

**L101**

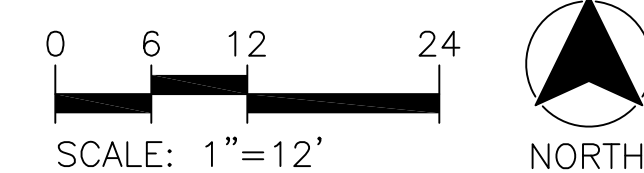


### DEMOLITION LEGEND

A1	EXISTING CONCRETE WALK - DO NOT DISTURB
A2	EXISTING CONCRETE WALK/SLAB - REMOVE COMPLETELY
A3	EXISTING CONCRETE STEPS AND HANDRAIL - REMOVE COMPLETELY
B1	EXISTING CONCRETE CURB - DO NOT DISTURB REFER TO BRYCE/OTT PARKING LOT DRAWINGS 20240389.
B2	EXISTING CONCRETE CURB - REMOVE COMPLETELY
C1	EXISTING CONCRETE WALL - DO NOT DISTURB
C2	EXISTING MASONRY WALL - REMOVE COMPLETELY INCLUDING TAKING CONCRETE FOUNDATION 8 INCHES BELOW EXISTING FINISH GRADE
C3	EXISTING LIMESTONE WALL - REMOVE COMPLETELY
D1	EXISTING LIGHT POLE - REFER TO ELECTRICAL SITE DEMOLITION PLAN SHEET ES101
E1	EXISTING SIGN - DO NOT DISTURB
E2	EXISTING SIGN - REMOVE FOR RELOCATION
F1	EXISTING INLET - PROTECT
G1	EXISTING TREE - PROTECT
G2	EXISTING TREE - REMOVE COMPLETELY
G3	EXISTING VEGETATION - REMOVE COMPLETELY
H1	EXISTING UTILITY CASTING - DO NOT DISTURB
J1	EXISTING W-BEAM STEEL GUARDRAIL, POSTS AND ELECTRICAL OUTLETS - REMOVE COMPLETELY
K1	EXISTING FIRE MAIN GATE VALVE - DO NOT DISTURB
K2	EXISTING WATER VALVE - DO NOT DISTURB
L1	EXISTING UTILITY PULL BOX - DO NOT DISTURB
M1	EXISTING STEAM MANHOLE - DO NOT DISTURB
N1	EXISTING SHADE STRUCTURE - DO NOT DISTURB

## DEMOLITION NOTES

1. CAUTION UNDERGROUND TUNNEL IN PROJECT AREA. AVOID USING HEAVY EQUIPMENT ABOVE THE TUNNEL. IF EQUIPMENT MUST CROSS OVER THE TUNNEL, THE TUNNEL MUST BE PROTECTED USING A METHOD APPROVED BY THE OWNER. ALL EXCAVATION ABOVE THE TUNNEL SHOULD BE CONDUCTED MANUALLY.
2. THESE DRAWINGS HAVE BEEN CREATED FROM SURVEY INFORMATION PROVIDED BY CEC ENGINEERING, INDIANAPOLIS, INDIANA. LANDSTORY IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY.
3. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A BID. PERMITS FOR ANY CONSTRUCTION DEPICTED IN THESE PLANS SHALL BE OBTAINED BY THE CONTRACTOR.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH AND TO LOCATE ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES, PIPES, AND OTHER SUBSTRUCTURES, AND TO PROTECT THEM FROM DAMAGE. THE EXPENSE OF REPAIR, BODILY INJURY OR REPLACEMENT OF SAID SUBSTRUCTURES INCLUDING DAMAGE OF THE OWNER'S PROPERTY SHALL BE BORN BY THE CONTRACTOR. THE CONTRACTOR SHALL HAND DIG FOOTINGS, TREE WELLS, PLANTING BEDS, ETC. AS REQUIRED. CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES PRIOR TO ANY EXCAVATION.
5. CONTRACTOR TO INSTALL CONSTRUCTION FENCING ACCORDING TO THE PROJECT SPECIFICATIONS AND IJ STANDARDS THROUGHOUT DURATION OF CONSTRUCTION.
6. THE CONTRACTOR IS REQUIRED TO VERIFY AND MEASURE THE LOCATION AND ELEVATION OF ALL EXISTING ELEMENTS AND STRUCTURES WITHIN AND AROUND THE WORK AREA BEFORE STARTING ANY WORK
7. EXTREME CARE SHALL BE EXERCISED IN EXCAVATION AND WORKING NEAR EXISTING UTILITIES. THE CONTRACTOR MUST CONDUCT EXPLORATORY EXCAVATIONS TO IDENTIFY EXISTING UNDERGROUND UTILITIES, PIPES, AND OTHER SUBSTRUCTURES WELL IN ADVANCE OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE PLANS MUST BE PROMPTLY REPORTED TO THE OWNER. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN ON THE PLANS ARE APPROXIMATE ONLY.
8. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, LANDSCAPING, AND FEATURES TO REMAIN ON AND/OR ADJACENT TO THE PROJECT SITE DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ALL DAMAGE RESULTING FROM HIS OPERATIONS OR NEGLIGENCE.
9. EROSION CONTROL MEASURES WILL BE PROVIDED BY CONTRACTOR PER THESE DRAWINGS AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
10. BRYCE BUILDING SIGN TO BE TURNED OVER TO THE OWNER. CONTRACTOR TO INQUIRE ABOUT DESIRED STORAGE LOCATION.
11. CONTRACTOR TO INSTALL TEMPORARY TREE PROTECTION PER PLANS, DETAILS AND SPECIFICATIONS. TEMPORARY TREE PROTECTION WILL REMAIN IN PLACE THROUGHOUT DURATION OF CONSTRUCTION.
12. AES LIGHT POLE AND FIXTURE MUST BE TURNED OVER TO AES IF NOT ALREADY REMOVED. CONTRACTOR IS RESPONSIBLE FOR CONTACTING AES





- ②
- PLAN NOTES
- ①

1. INSTALL 12x12 PULL BOX. REFER TO DETAIL FOR ADDITIONAL INFORMATION.  
2. CONNECT TO SPARE CIRCUIT BREAKERS IN PANEL 1NL1. PROVIDE UPDATED TYPED DIRECTORY.  
3. ROUTE CIRCUITS 1LN1-54 AND 1LN1-56 IN ONE (1) 2" PVC COATED RIGID CONDUIT WITH 2-#10, 1-#10G.  
4. ROUTE CIRCUIT 1LN1-54 IN ONE (1) 1" HDPE CONDUIT WITH 2-#8, 1-#8G.  
5. ROUTE CIRCUIT 1LN1-56 IN ONE (1) 1" HDPE CONDUIT WITH 2-#8, 1-#8G (FOR PARKING LOT PROJECT).  
6. CAREFULLY HAND EXCAVATE AREA TO AVOID DAMAGE TO EXISTING ELECTRICAL AND PERIMETER DRAIN LINE(S). CORE DRILL WALL BELOW GRADE. PROVIDE LINK-SEAL FOR WALL PENETRATION. SEAL AIR AND WATER TIGHT.  
7. PULL BOX INSTALLED PER IU #20240389 PROJECT DOCUMENTS.  
8. INSTALLED PER IU #20240389 PROJECT DOCUMENTS.

LANDSTORY

Landscape Architecture  
Planning  
Urban Design

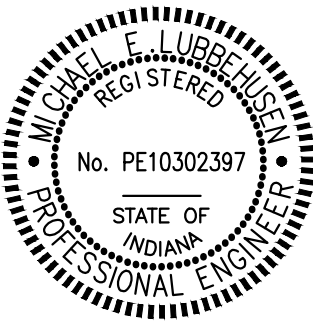
1509 N. Alabama St.  
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317.951.0000 tel  
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ENGINEERING INC

IndianapolisFort Wayne  
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info@primary-eng.comwww.primary-eng.com

Seal



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Project  
Lockefield, Bryce, Ott  
Hardscape Repairs

Client  
INDIANA UNIVERSITY  
ARCHITECT'S OFFICE  
ENGINEERING SERVICES  
SERVICE BUILDING  
1800 N. RANGE ROAD  
BLOOMINGTON, IN 47408

Dates  
March 31, 2025

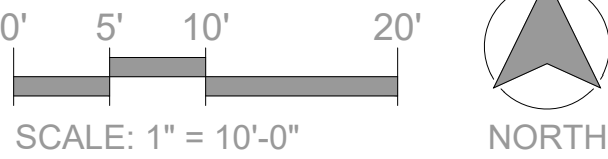
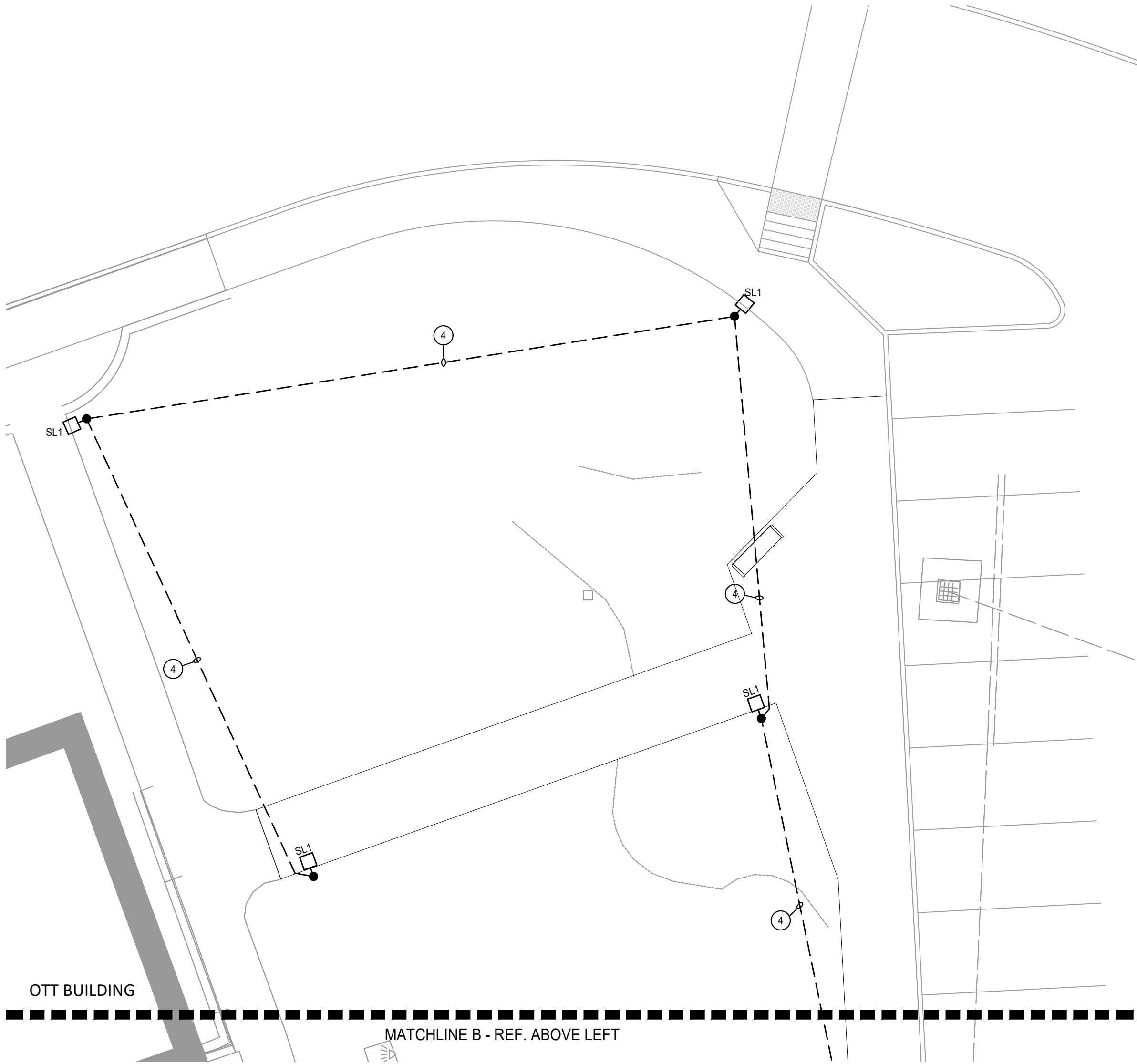
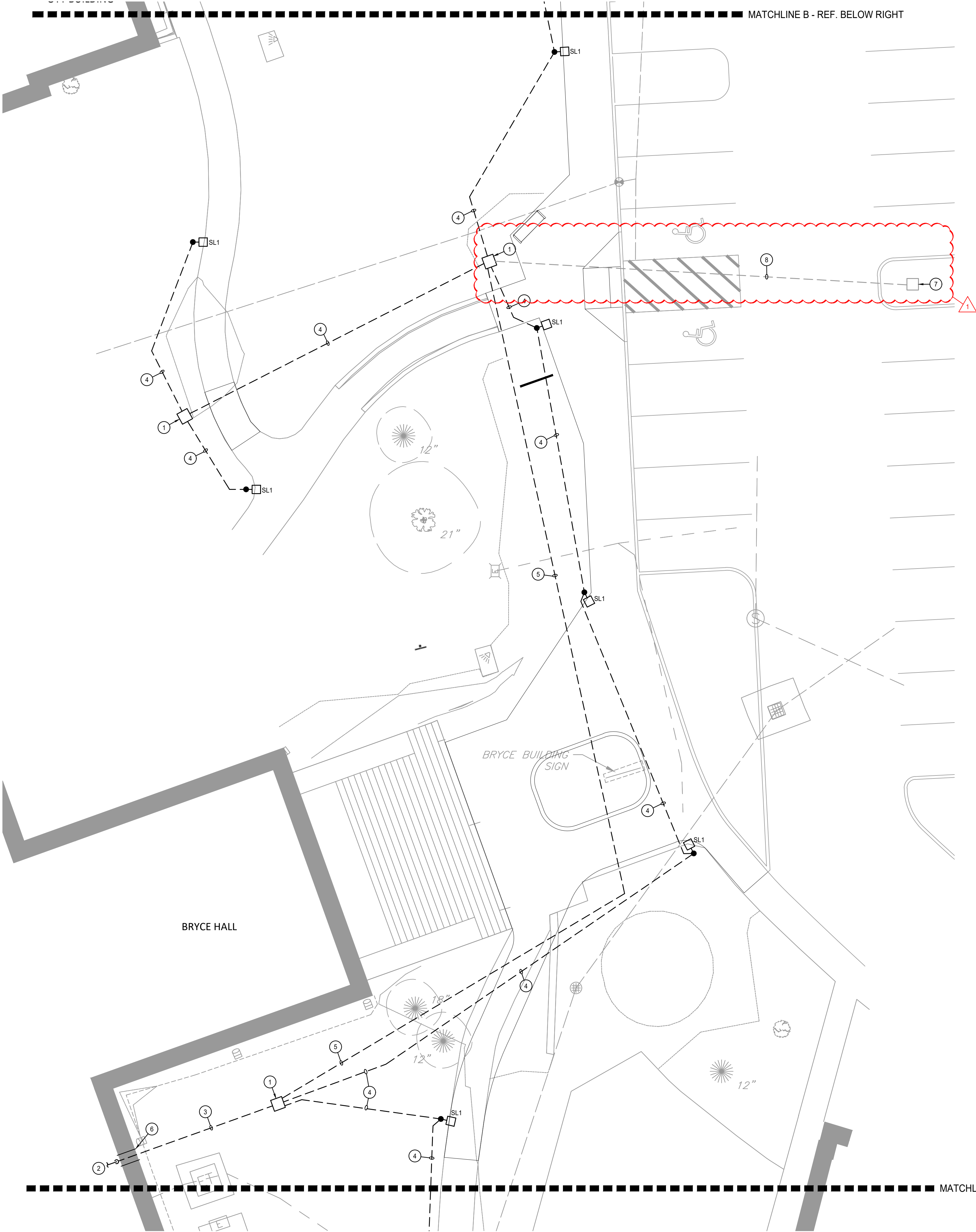
Revisions  
① Addendum #1

Project Manager  
SBA  
Drawn  
SBA  
Checked  
SBA

Project Number  
IU# 20230562

Sheet Title  
ELECTRICAL SITE PLAN

Sheet  
ES202  
PRIMARY JOB #24600



File Location = K:\24600 IU Site Lighting Lockefield Bryce Ott\DWG\Elect. Sheet Name = ES202.dwg Date Printed = 5/16/25 Time Printed = 06:23:45 AM Printed by = sailman Copyright Primary Engineering Inc.