METICULOUS
MEANINGFUL | PURPOSEFUL | IMPACTFUL

ADDENDUM NO. 2 December 18, 2025

FOR:

PROJECT: 20241349 - IN361X MADAM WALKER LEGACY CENTER
PROJECT ADDRESS: 617 Indiana Avenue
Indianapolis, IN 46202

TO: All Bidders of Record:

Full set of drawings being reissued in response to Owner requested modifications, bidder questions, removal of paver systems from the scope, and addition of electrical location plan. Receipt of this addendum shall be acknowledged on the Bid Form. Failure to do so may subject bidder to disqualification.

END OF ADDENDUM NO. 2

ATTACHMENTS:

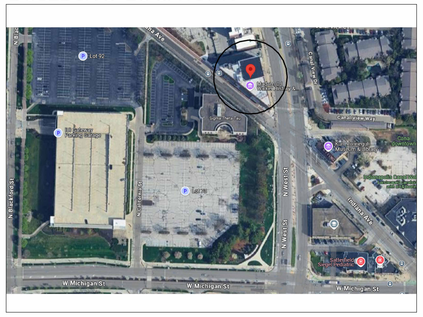
Updated full set of project drawings. Fifteen (15) sheets total.

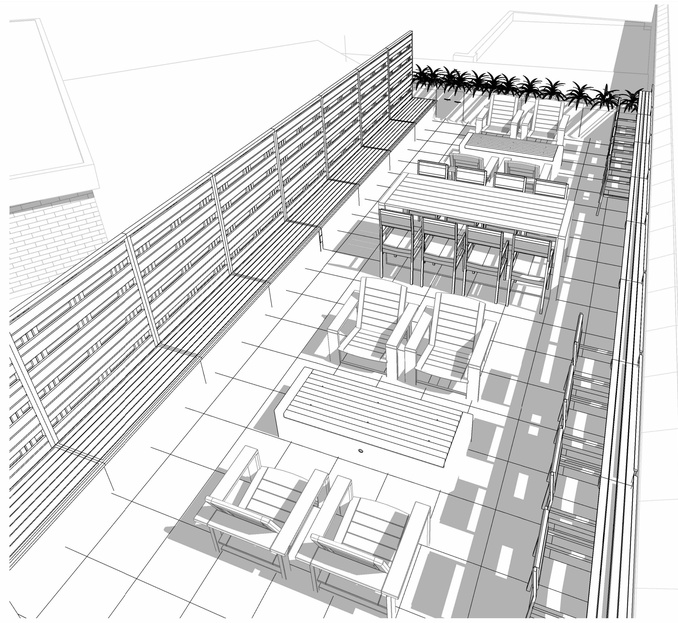
INDIANA UNIVERSITY
WALKER THEATRE ROOFTOP EVENT SPACE

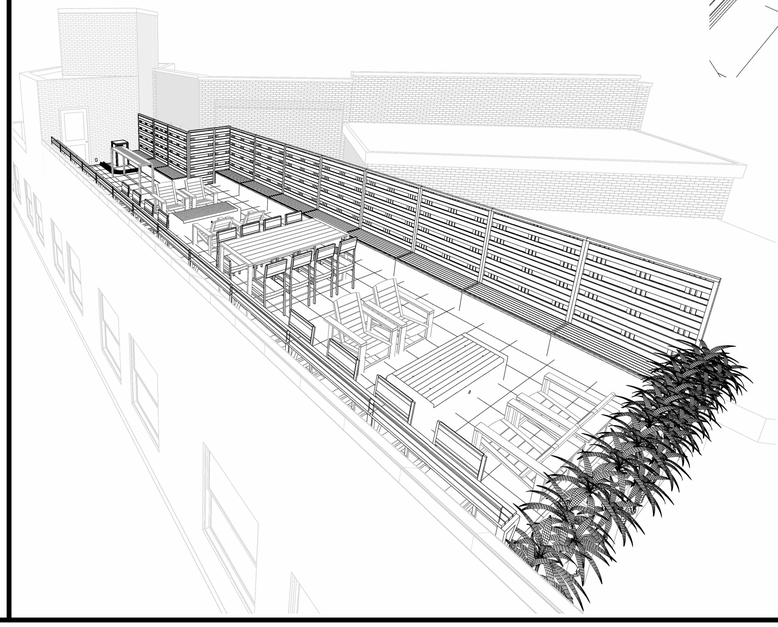
617 Indiana Avenue
Indianapolis, IN 46202

SITE LOCATION

BUILDING LOCATION







PROJECT TEAM

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OVERROOF PROJECT

WALKER THEATRE ROOFTOP EVENT SPACE
617 Indiana Avenue
Indianapolis, IN 46202

#	Revision	Date
	ADDENDUM 2	12/16/25

ISSUE DATE: 08/25/2025
PROJECT NO.: 4021-25017

COVER

A-000

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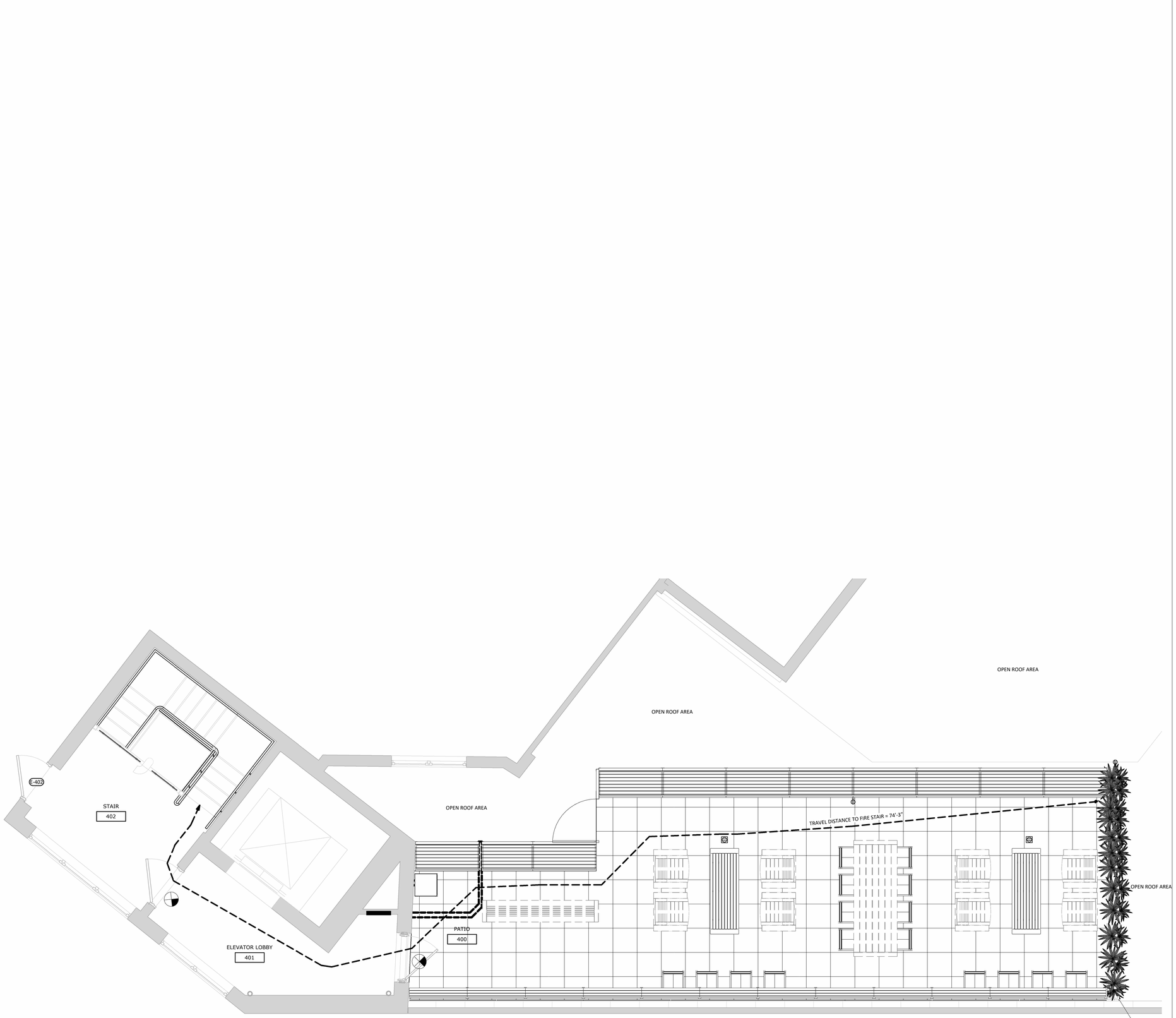
APPLICABLE CODES		
	INDIANA BUILDING CODE	
	2014 INDIANA BUILDING CODE	
	INDIANA PLUMBING CODE	
	2012 INDIANA PLUMBING CODE	
	INDIANA ELECTRICAL CODE	
	2009 INDIANA ELECTRICAL CODE	
	INDIANA FIRE CODE	
	2014 INDIANA FIRE CODE	
	INDIANA MECHANICAL CODE	
	2014 INDIANA MECHANICAL CODE	
	INDIANA CONSERVATION CODE	
	2010 INDIANA ENERGY CONSERVATION CODE	
	INDIANA HANDICAPPED ACCESSIBILITY CODE	
	2009 ANSI A117.1	
	ADA ACCESSIBILITY GUIDELINES	
	CLASSIFICATION (302.1):	A-2
	NON-SEPARATED USES (508.3.2):	N/A
	SEPARATED USES (508.3.3):	N/A
AUTOMATIC SPRINKLER SYSTEM		
	SPRINKLER SYSTEM REQUIRED (903):	EXIST.
	SPRINKLER SYSTEM PROVIDED:	EXIST.
ACTUAL BUILDING HEIGHT AND AREA		
	TOTAL BUILDING AREA:	62, 739 SF
	ACCESSORY USE AREA:	617 SF
	BUILDING HEIGHT (FEET / # FLOORS):	40' / 4 FLOORS
TABULAR OCCUPANT LOAD (1004.1.2)		
	OCCUPANT LOAD FACTOR:	1/15
ACTUAL OCCUPANT LOAD (1004.1.2)		
	SQUARE FOOTAGE / OLF:	725/15
	TOTAL OCCUPANTS:	49
FIRE RESISTIVE REQUIREMENTS (601 AND 602)		
	CONSTRUCTION TYPE:	EXIST.
	STRUCTURAL FRAME:	EXIST.
	EXTERIOR BEARING WALLS:	EXIST.
	INTERIOR BEARING WALLS:	EXIST.
	EXTERIOR NON-BEARING WALLS:	EXIST.
	INTERIOR NON-BEARING WALLS	EXIST.
	FLOOR CONSTRUCTION:	EXIST.
	ROOF CONSTRUCTION:	EXIST.
FIRE RESISTANCE RATED CONSTR. (704, 601, 602)		
	RATED EXTERIOR WALLS:	N/A
	FIRE SEPARATION DISTANCE	N/A
	UNPROTECTED OPENING AREA:	N/A
INTERIOR WALL AND CEILING FINISH REQ'S (803)		
	SEE FINISH SCHEDULE FOR MATERIALS	
	ALL MATERIALS ARE CLASS A RATED	
FIRE PROTECTION SYSTEMS		
	STANDPIPE SYSTEM (905):	EXIST.
	PORTABLE FIRE EXTINGUISHERS (906.1):	SEE PLAN
	FIRE ALARM AND DETECTION SYSTEMS (907):	YES, EXIST.
	SMOKE CONTROL SYSTEMS (909):	N/A
	SMOKE AND HEAT VENTS (910):	N/A
EGRESS		
	MINIMUM WIDTH FACTOR (1005.1):	.15
	REQUIRED MINIMUM WIDTH FROM SPACE (1005.1):	13.2"
	MINIMUM NUMBER OF EXITS:	1
	ACTUAL NUMBER OF EXITS:	1
	ACTUAL WIDTH OF EXITS:	36"
	ALLOWABLE TRAVEL DISTANCE (1016.2):	200'
	CORRIDOR CONSTRUCTION (1018.1):	NON-RATED
	MINIMUM CORRIDOR WIDTH (1018.2):	44"
	MAXIMUM DEAD END CORRIDOR (1018.4):	20'

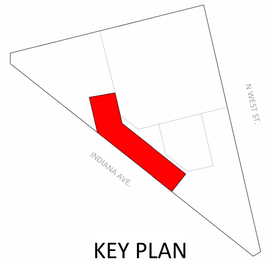
MAX OCCUPANCY: 49 PERSONS



1 LIFE SAFETY PLAN
A-003 3/8" = 1'-0"

LIFE SAFETY LEGEND

- SURFACE MOUNTED FIRE EXTINGUISHER
- FEC
- PATH OF TRAVEL
- EXIT SIGN



KEY PLAN

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OVERROOF PROJECT

WALKER THEATRE ROOFTOP EVENT SPACE

617 Indiana Avenue
Indianapolis, IN 46202

REVISIONS

No.	Description	Date
1	ADDENDUM 2	12/16/25

CERTIFIED BY:

ISSUE DATE: 08/25/2025
DRAWN: J.D.S. CHECKED: D.L.
PROJECT NO.: 4021-25017
REVISION NO.:

LIFE SAFETY PLAN

A-003

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ARCHITECTURAL/SITE ABBREVIATIONS

ABBREVIATIONS USED ON THE CONTRACT DOCUMENTS, INCLUDE BUT ARE NOT LIMITED TO THOSE LISTED BELOW

@	AT	FAB	FABRICATE/FABRICATOR	REFL	REFLECTED
AC	AIR CONDITIONING	FD	FLOOR DRAIN	REINF	REINFORCE
ACT	ACOUSTICAL CEILING TILE	FE	FIRE EXSTINGUISHER	RESIL	RESILIENT
ACOUST	ACOUSTICAL	FEC	FIRE EXSTINGUISHER CABINET	RH	RIGHT HAND
AD	AREA DRAIN	FG	FROSTED GLAZING	RM	ROOM
ADJ	ADJUSTABLE	FHC	FIRE HOSE CABINET	RO	ROUGH OPENING
AFF	ABOVE FINISHED FLOOR	FIN	FINISH(ED)		
AFP	ACCORDION FOLDING PARTITION	FLR	FLOOR	SCHED	SCHEDULE
AGG	AGGREGATE	FLUOR	FLOURESCENT	SD	SOAP DISPENSER
ALT	ALTERNATE	FOB	FACE OF BLOCK	SECT	SECTION
AL	ALUMINUM	FOBR	FACE OF BRICK	SHT	SHEET
AP	ACCESS PANEL	FOC	FACE OF CONCRETE	SIM	SIMILAR
APC	ACOUSTICAL PANEL CEILING	FOF	FACE OF FINISH	SP	SPANDREL PANEL
APROX	APPROXIMATE	FOG	FACE OF GYPSUM BOARD	SPEC(S)	SPECIFICATION(S)
AR	ACID RESISTANT	FOS	FACE OF STUD	SQ	SQUARE
ARCH	ARCHITECT(URAL)	FR	FIRE RATED	SQ FT/SF	SQUARE FEET
ASPH	ASPHALT	FT	FEET	SS	STAINLESS STEEL
AWG	AMERICAN WIRE GAUGE	FTG	FOOTING	ST	STEEL
AWT	ACOUSTICAL WALL TREATMENT	FV	FIELD VERIFY	STD	STANDARD
L	ANGLE			STOR	STORAGE
&	AND	GA	GAUGE	STRUCT	STRUCTURAL
		GEN	GENERAL	SUSP	SUSPEND(ED)
BD	BOARD	GL	GLASS	SYM	SYMMETRICAL
BIT	BITUMINOUS	GWB	GYPSUM WALLBOARD		
BLDG	BUILDING			T	THICKNESS
BLKG	BLOCKING	H	HEIGHT/HIGH	TB	TACKBOARD
BM	BENCH MARK / BEAM	HB	HOSE BIB	T&B	TOP AND BOTTOM
BO	BOTTOM OF	HDWE	HARDWARE	TC	TOP OF CURB
BOS	BOTTOM OF STEEL	HM	HOLLOW METAL	TECH	TECHNICAL
BOT	BOTTOM	HORIZ	HORIZONTAL	TEL	TELEPHONE
BRG	BEARING	HVAC	HEATING/VENTILATING/AIR	TEMP	TEMPERED
BRK	BRICK		CONDITIONING	TG	TEMPERED GLAZING
BSMT	BASEMENT			T&G	TONGUE AND GROOVE
BUR	BUILT-UP ROOF	ID	INSIDE DIAMETER	TERR	TERRAZZO
		IG	INSULATED GLAZING	T.O.	TOP OF
CAB	CABINET	IN	INCH	TOC	TOP OF CONCRETE
CAR	CARPET	INFO	INFORMATION	TOF	TOP OF FOOTING
CAT	CATALOG	INSUL	INSULATION	TOM	TOP OF MASONRY
CB	CHALKBOARD / CATCH BASIN	INTR	INTERIOR	TOP	TOP OF PAVEMENT
CG	CORNER GUARD			TOS	TOP OF STEEL
CH	CABINET HEATER	JAN	JANITOR	TYP	TYPICAL
CI	CAST IRON	JT	JOINT	TW	TOP OF WALL
CJ	CONTROL JOINT				
CL	CENTERLINE	LAV	LAVATORY	UNO	UNLESS NOTED OTHERWISE
CLR	CLEAR	L	LENGTH	UTIL	UTILITIES
CLG	CEILING	LAM	LAMINATE(D)	UV	UNIT VENTILATOR
CMP	CORRUGATED METAL PIPE	LAV	LAVATORY		
CMT	CERAMIC MOSAIC TILE	LB/#	POUND	VCT	VINYL COMPOSITE TILE
CMU	CONCRETE MASONRY UNIT	LG	LAMINATED GLAZING	VCGWB	VINYL COVERED GYPSUM WALLBOARD
CO	CLEANOUT	LH	LEFT HAND	VERT	VERTICAL
COL	COLUMN				
COMP	COMPACTED	MAX	MAXIMUM	VIF	VERIFY IN FIELD
CONC	CONCRETE	MECH	MECHANICAL	VOL	VOLUME
CONST	CONSTRUCTION	MFR	MANUFACTURER	VR	VAPOR RETARDER
CONT	CONTINUOUS/CONTINUE	MH	MAN HOLE		
CONTR	CONTRACTOR	MIN	MINIMUM	W	WEST / WIDE / WIDTH
CJ	CONTROL JOINT	MISC	MISCELLANEOUS	W/	WITH
CT	CERAMIC TILE	MO	MASONRY OPENING	WD	WOOD
C TO C	CENTER TO CENTER	MTL	METAL	WH	WATER HEATER
				W/O	WITHOUT
°	DEGREE	NAF	NO APPLIED FINISH	WT	WEIGHT
DEPT	DEPARTMENT	NIC	NOT IN CONTRACT		
DET	DETAIL	NTS	NOT TO SCALE	YD	YARD/YARD DRAIN
DF	DRINKING FOUNTAIN				
DIA/ Ø	DIAMETER	OA	OVER ALL		
DIM	DIMENSION	OC	ON CENTER		
DISP	DISPENSER	OD	OUTSIDE DIAMETER		
DMB	DRY MARKER BOARD	OPNG	OPENING		
DL	DEAD LOAD	OPP	OPPOSITE		
DWG	DRAWING	O.H.	OPPOSITE HAND		
DN	DOWN				
DS	DOWNSPOUT	P	PAINT		
DWC	DRINKING WATER COOLER	PA	PUBLIC ADDRESS		
		PERF	PERFORATED		
EA	EACH	PLAM	PLASTIC LAMINATE		
EJ	EXPANSION JOINT	PLAS	PLASTER		
EL	ELEVATION	PLYWD	PLYWOOD		
ELEC	ELECTRIC(AL)	PREFAB	PREFABRICATED		
ELEV	ELEVATOR	PTBD	PARTICLE BOARD		
ENGR	ENGINEER	PTD	PAINTED		
EQ	EQUAL				
EQUIP	EQUIPMENT	QT	QUARRY TILE		
EIFS	EXTERIOR INSULATION FINISH SYSTEM				
EXIST	EXISTING	R	RADIUS		
EXT	EXTERIOR	RCP	REFLECTED CEILING PLAN		
		RD	ROOF DRAIN		

GENERAL PROJECT NOTES

A. THE CONTRACTOR SHALL NOT SCALE DRAWINGS, DIMENSIONS GOVERN, LARGE SCALE DETAILS GOVERN.

B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND ACTUAL CONDITIONS AT JOB SITE AND FOR COORDINATING THE STRUCTURAL, MECHANICAL, AND ELECTRICAL CONTRACT DOCUMENTS REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

C. ALL CMU WALLS THAT DO NOT LAY OUT IN FULL OR HALF LENGTHS SHOULD BE CONFIGURED SO AS NOT TO HAVE ANY PIECES LESS THAN 4" IN SIZE EXPOSED TO VIEW.

D. WHERE DISSIMILAR FLOOR MATERIALS MEET, THEY SHALL DO SO UNDER THE CENTERLINE OF THE DOOR, UNLESS NOTED OTHERWISE. INFORM THE ARCHITECT OF ANY MISALIGNMENT IN FIELD CONDITIONS.

E. THERE SHALL BE PERIMETER INSULATION CONTINUOUS AROUND THE ENTIRE PERIMETER OF THE BUILDING EXTENDING 2'-0" MINIMUM BELOW GRADE. REFER TO WALL SECTIONS.

F. THE BASE ELEVATION INDICATED FOR THE PROJECT IS 0'-0". REFER TO SITE PLAN FOR CORRELATION TO USGS DATUM (+XXX).

G. ALL INTERIOR MASONRY WALLS THAT RUN TO UNDERSIDE OF DECK ABOVE SHALL HAVE A 2" JOINT (U.N.O.) AT THE DECK TO BE FILLED WITH FIRE STOPPING AT RATED WALLS PER PROJECT MANUAL., AND MINERAL WOOL AT THE NON-RATED WALLS, TO ALLOW FOR DEFLECTION. REFER TO FIRE AND LIFE SAFETY DRAWINGS.

H. ALL DIMENSIONS ON FLOOR PLANS ARE TO FINISH FACE OF CMU, CONCRETE, BRICK OR METAL STUD WALLS, UNLESS NOTED OTHERWISE. EXCEPTION: EXTERIOR METAL STUD WALLS ARE TO FACE OF METAL STUDS.

I. HINGE SIDE DOOR JAMB AT WALLS TO BE LOCATED 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.

J. ALL EXPOSED CONCRETE MASONRY UNITS (CMU) CORNERS ARE TO BE BULLNOSE, EXCEPT AT WINDOW JAMBS, BULKHEADS, WINDOW AND DOOR HEADS.

K. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL SURFACES AND FINISHES AT THE INTERIOR AND EXTERIOR OF THE BUILDING. DAMAGED SURFACES AND FINISHES RESULTING FROM THE PERFORMANCE OF THE WORK SHALL BE REPAIRED AT NO COST TO THE OWNER BY THE RESPONSIBLE CONTRACTOR TO MATCH EXISTING TO THE SATISFACTION OF THE OWNER AND OWNER'S TECHNICAL REPRESENTATIVE, AND THE ARCHITECT.

L. THE CONTRACTOR SHALL PROTECT EQUIPMENT FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC. DAMAGE ANY EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTOR'S EXPENSE.

M. THE CONTRACTOR SHALL REPAIR ALL DAMAGED SURFACES TO MATCH SURFACES AS REQUIRED BY CONSTRUCTION DRAWINGS.

N. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUESTED FOR FABRICATED ITEMS, CUTSHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES CALLED TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

O. ALL DIMENSIONS SHOWN ARE TO FACE OF STUD, MASONRY, OR CONCRETE UNLESS NOTED OTHERWISE. DIMENSIONS DESIGNATED AS "CLR OR CLEAR" INDICATE A CLEAR DIMENSION FROM FACE OF FINISH TO FACE OF FINISH. DIMENSIONS OF EXTERIOR WALLS ARE TO OUTSIDE EDGE OF FOUNDATION.

P. ELEVATION CALLOUTS INCLUDING "AFF", (ABOVE FINISH FLOOR) REFERENCE THE FINISHED SURFACE OF THE STRUCTURAL SUBFLOOR PRIOR TO THE APPLICATION OF FLOORING OR FLOOR FINISHES INDICATED ON THE INTERIOR FLOOR PLANS AND INTERIOR ROOM FINISH SCHEDULES UNLESS NOTED OTHERWISE. WHERE MINIMUM CLEAR HEIGHTS OR MAXIMUM HEIGHTS OF CASEWORK AND EQUIPMENT ARE SHOWN, SUCH DIMENSIONS ARE REQUIRED BETWEEN THE TOP OF THE FINISHED FLOORING (AS INDICATED ON THE INTERIOR FLOOR PLAN AND INTERIOR ROOF FINISH PLANS).

Q. COORDINATE, PROVIDE, AND INSTALL 2X FIRE TREATED WOOD WALL BLOCKING AS REQUIRED FOR THE ANCHORAGE AND SUPPORT OF ALL NEW CASEWORK, TRIM, FIRE EXTINGUISHER CABINETS, TOILET ACCESSORIES, MARKER BOARDS, TACK BOARDS, DOOR HARDWARE ACCESSORIES, ETC. AS APPLICABLE.

R. AT ALL AREAS WHERE EXISTING FLOOR COVERING OR WALL COVERING MATERIAL IS SHOWN TO BE REMOVED, THE CONTRACTOR SHALL PROPERLY PREPARE THE REMAINING SUB-SURFACE AS REQUIRED BY THE NEW COVERING MANUFACTURER SUCH THAT COVERING PROVIDED BY THE CONTRACTOR MEETS ALL WARRANTY REQUIREMENTS SET FORTH BY THE COVERING MANUFACTURER.

S. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING, BLOCKING, BACKING, FRAMING, HANGERS, OR OTHER SUPPORT FOR ALL FIXTURES, CABINETRY, EQUIPMENT, FURNISHINGS, WALL MOUNTED ITEMS, AND ALL OTHER ITEMS REQUIRING THE SAME.

T. WHERE NEW FLOORS MEET EXISTING FLOORS, A SMOOTH, STRAIGHT, AND FLUSH TRANSITION SHALL BE CONSTRUCTED. VERIFY IN FIELD EXISTING FLOOR ELEVATIONS AND CONDITIONS WHERE A NEW FLOOR SHALL BE CONSTRUCTED ADJACENT. TRIM AND PATCH EXISTING FLOOR AS REQUIRED TO ACHIEVE DESIRED TRANSITION.

U. THE CONSTRUCTION DOCUMENTS ARE PROVIDED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGH-OUT.

V. THE CONTRACTOR, IN ASSUMING RESPONSIBILITY FOR THE WORK INDICATED, SHALL COMPLY WITH THE SPIRIT AND THE LETTER IN WHICH THEY WERE WRITTEN.

W. EACH CONTRACTOR AND SUBCONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS AS PER THE CONTRACTORS CONSTRUCTION WASTE MANAGEMENT PLAN, AND SHALL EXERCISE STRICT CONTROL TO PREVENT ANY DIRT OR DEBRIS FROM AFFECTING FINISHED AREAS OF THE JOB SITE. THE SITE OR BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE.

X. NOTHING SET FORTH IN THESE DRAWINGS SHALL RELEASE ANY CONTRACTOR FROM RESPONSIBILITY TO PROVIDE APPROPRIATE QUANTITIES, FIELD MEASUREMENTS, DIMENSIONAL STABILITY, INSTALLATION, ANCHORAGE AND COORDINATION WITH OTHER TRADES, OR WAIVE THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY AND RESOLVE DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, OR WAIVE THE CONTRACTOR'S RESPONSIBILITY TO ALERT THE OWNER'S TECHNICAL REPRESENTATIVE AND ARCHITECT TO ERRORS OR OMISSIONS CONTAINED THEREIN.

Y. THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL ACTUAL CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS AND AS PERTINENT TO THE INTENT OF THESE DRAWINGS. ANY DISCREPANCY DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S TECHNICAL REPRESENTATIVE AND ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK AFFECT BY, OR RELATED TO, SUCH DISCREPANCY. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH, OR CAUSED BY FAILURE TO COMPLY WITH REQUIREMENT.

Z. EACH CONTRACTOR SHALL REVIEW IN ADVANCE AND DURING BIDDING ALL PORTIONS OF THE WORK TO VERIFY THAT THE WORK WILL NOT PROHIBIT COMPLETION OF THE PROJECT AS INTENDED IN THESE CONTRACT DOCUMENTS. ANY QUESTIONS SHALL BE PROMPTLY REFERRED TO THE ARCHITECT FOR RESOLUTION.

AA. ALL WORK SHALL BE IN ACCORDANCE WITH THE BEST QUALITY STANDARDS OF THE TRADE, AND SHALL CONFORM WITH ALL FEDERAL, STATE, AND LOCAL CODES AND STANDARDS.

BB. EACH CONTRACTOR SHALL COORDINATE RESPECTIVE CUTTING AND PATCHING WORK WITH THE GENERAL CONTRACTOR OR SITE SUPERINTENDENT BEFORE PROCEEDING WITH CUTTING ANYTHING.

CC. DRAWING SHEETS WHILE DIVIDED BY TRADE FOR EASE OF USE ARE NOT EXCLUSIVE, THERE MAY BE OVERLAP OF WORK CONTAINED ON ANY GIVEN PAGE. FOR THIS REASON, EACH CONTRACTOR SHALL BECOME COMPLETELY FAMILIAR WITH ALL ASPECTS OF THE WORK, EVEN THOSE AREA DESIGNATED TO BE PROVIDED BY OTHERS. THIS FAMILIARIZATION INCLUDES FULL AND COMPLETE UNDERSTANDING OF THE WORK DESCRIBED ON ALL SHEETS OF THE DRAWINGS AND IN ALL SECTIONS OF THE PROJECT MANUAL. FAILURE BY THE CONTRACTOR TO BECOME COMPLETELY FAMILIAR AND COGNIZANT OF ALL ASPECTS OF THE WORK SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE MATERIALS, ASSEMBLIES, OR SERVICES INDICATED IN THE CONTRACT DOCUMENTS.

DD. SUPPLY, COORDINATE, AND INSTALL DOORS, PANELS AND HATCHES IN CEILINGS, WALLS, AND FLOORS; NOTIFY ARCHITECT OF ANY CONFLICTS WITH FEATURES SHOWN ON DRAWINGS.

EE. PROVIDE WATER ROUGH-IN AND ELECTRICAL CONNECTIONS FOR OWNER-PROVIDED EQUIPMENT IN COMPLIANCE WITH MEP DRAWINGS.

FF. PROVIDE SLIP CHANNELS AT ALL LOCATIONS WHERE WALLS EXTEND TO A STRUCTURAL MEMBER ABOVE.

GG. WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT INDIVIDUAL UNITS OF WORK AT INDUSTRY RECOGNIZED STANDARD MOUNTING HEIGHTS, ADA AND ANSI 117.1 FOR THE PARTICULAR APPLICATION AND REFER QUESTIONABLE MOUNTING HEIGHT CHOICES TO ARCHITECT FOR FINAL DECISIONS.

HH. COORDINATE ENGINEERING DRAWINGS WITH ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS, AND REPORT DISCREPANCIES IMMEDIATELY TO ARCHITECT.

II. CONFLICTS BETWEEN SPECIFICATIONS AND DRAWINGS SHALL BE COMMUNICATED TO THE ARCHITECT FOR RESOLUTION PRIOR TO COMMENCEMENT OF THE WORK.

JJ. INFECTION CONTROL BARRIER LAYOUT SHOWN IS PROVIDED FOR REFERENCE ONLY. INFECTION CONTROL BARRIERS SHOULD REMAIN IN PLACE FOR THE COMPLETE DURATION OF THE WORK. PROVIDE INFECTION CONTROL BARRIERS, CONTRACTOR ACCESS DOOR, AND FLOOR MATS PER OWNER STANDARD AND SPECIFICATIONS. COORDINATE FINAL LOCATIONS AND QUANTITY WITH OWNER PRIOR TO CONSTRUCTION.

KK. SHORT TERM INFECTION CONTROL BARRIER LAYOUT SHOWN IS PROVIDED FOR REFERENCE ONLY. SHORT TERM INFECTION CONTROL BARRIERS ARE INTENDED FOR FINISH WORK ONLY AND SHOULD BE REMOVED FOR OWNER ACCESS DURING NORMAL HOURS. PROVIDE SHORT TERM INFECTION CONTROL BARRIERS, CONTRACTOR ACCESS DOOR, AND FLOOR MATS PER OWNER STANDARD AND SPECIFICATIONS. COORDINATE FINAL LOCATIONS AND QUANTITY WITH OWNER PRIOR TO CONSTRUCTION.

MATERIAL SYMBOLS LEGEND

ALUMINUM	PLASTIC	SAND
CONCRETE	EARTH	STEEL
GYPSUM BOARD	FINISHED WOOD	WOOD
RIGID INSULATION	ACOUST. CEILING PANEL	GRAVEL
FACE BRICK	PLYWOOD	BATT INSULATION
CONCRETE BLOCK	SPRAY FOAM INSULATION	WOOD, FRAMING CONTINUOUS MEMBER

DRAWING SYMBOLS LEGEND

1i / Length	PATH OF TRAVEL TAG	2	DEMOLITION NOTE	Room name / 101	ROOM TAG
1t / 1' - 0"	CEILING TAG	3	ELEVATION NOTE	1	REVISION TAG
101	DOOR TAG	EXIT #001 / MIN. CLEAR WIDTH REQ'D: 366" / PROVIDED CLEAR WIDTH: 466"	DOOR LIFE SAFETY TAG	AREA NAME 150 SF	AREA TAG
1t	SPECIALTY EQUIPMENT TAG			1 / A101 SIM	CALLOUT TAG
1t	WALL TAG	N	NORTH ARROW		
1t	WINDOW TAG			1 / A101 SIM	BUILDING SECTION TAG
1t	FLOOR TAG				
WW99	CASEWORK TAG	1/ A101	MATCHLINE TAG		
1t	PLUMBING FIXTURE TAG	1 / A-101	EXTERIOR ELEVATION MARKER	1 / A101 SIM	WALL SECTION TAG
	CENTERLINE TAG	1 / A101	INTERIOR ELEVATION MARKER	Name / Elevation	LEVEL HEAD
1	PLAN NOTE (FLOOR PLAN, RCP, ROOF)				

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OVERROOF PROJECT

WALKER THEATRE ROOFTOP EVENT SPACE

617 Indiana Avenue
Indianapolis, IN 46202

REVISIONS

No.	Description	Date
1	ADDENDUM 2	12/16/25

CERTIFIED BY:

ISSUE DATE: 08/25/2025

DRAWN: J.D.S. | CHECKED: D.L.

PROJECT NO.: 4021-25017

REVISION NO.:

ARCHITECTURAL SPECS

AS100

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SECTION 024100
DEMOLITION

PART 1 GENERAL

1.01 SECTION INCLUDES

A. Selective demolition of building elements for alteration purposes.

1.02 REFERENCE STANDARDS

A. 29 CFR 1926 - Safety and Health Regulations for Construction; Current Edition.

B. NFPA 241 - Standard for Safeguarding Construction, Alteration, and Demolition Operations; 2022, with Errata (2021).

PART 2 PRODUCTS -- NOT USED

PART 3 EXECUTION

3.01 GENERAL PROCEDURES AND PROJECT CONDITIONS

A. Comply with applicable codes and regulations for demolition operations and safety of adjacent structures and the public.
1. Obtain required permits.
2. Take precautions to prevent catastrophic or uncontrolled collapse of structures to be removed; do not allow worker or public access within range of potential collapse of unstable structures.
3. Provide, erect, and maintain temporary barriers and security devices.
4. Use physical barriers to prevent access to areas that could be hazardous to workers or the public.
5. Conduct operations to minimize effects on and interference with adjacent structures and occupants.
6. Do not close or obstruct roadways or sidewalks without permits from authority having jurisdiction.
7. Conduct operations to minimize obstruction of public and private entrances and exits. Do not obstruct required exits at any time. Protect persons using entrances and exits from removal operations.
8. Obtain written permission from owners of adjacent properties when demolition equipment will traverse, infringe upon, or limit access to their property.

B. Do not begin removal until receipt of notification to proceed from Owner.

C. Do not begin removal until built elements to be salvaged or relocated have been removed.

D. Perform demolition in a manner that maximizes salvage and recycling of materials.

3.02 SELECTIVE DEMOLITION FOR ALTERATIONS

A. Existing construction and utilities indicated on drawings are based on casual field observation and existing record documents only.
1. Verify construction and utility arrangements are as indicated.
2. Report discrepancies to Architect before disturbing existing installation.
3. Beginning of demolition work constitutes acceptance of existing conditions that would be apparent upon examination prior to starting demolition.

B. Remove existing work as indicated and required to accomplish new work.
1. Remove items indicated on drawings.

C. Protect existing work to remain.
1. Prevent movement of structure. Provide shoring and bracing as required.
2. Perform cutting to accomplish removal work neatly and as specified for cutting new work.
3. Repair adjacent construction and finishes damaged during removal work.
4. Patch to match new work.

3.03 DEBRIS AND WASTE REMOVAL

A. Remove debris, junk, and trash from site.

B. Leave site in clean condition, ready for subsequent work.

C. Clean up spillage and wind-blown debris from public and private lands.

END OF SECTION

SECTION 055000
METAL FABRICATIONS

PART 1 GENERAL

1.01 SECTION INCLUDES

A. Shop fabricated steel and aluminum items.

1.02 REFERENCE STANDARDS

A. AAMA 2603 - Voluntary Specification, Performance Requirements and Test Procedures for Pigmented Organic Coatings on Aluminum Extrusions and Panels (with Coil Coating Appendix); 2022.

B. AAMA 2604 - Voluntary Specification, Performance Requirements and Test Procedures for High Performance Organic Coatings on Aluminum Extrusions and Panels (with Coil Coating Appendix); 2022.

C. ASTM A276/A276M - Standard Specification for Stainless Steel Bars and Shapes; 2025.

D. ASTM A36/A36M - Standard Specification for Carbon Structural Steel; 2019.

E. ASTM A53/A53M - Standard Specification for Pipe, Steel, Black and Hot-Dipped, Zinc-Coated, Welded and Seamless; 2024.

F. ASTM A123/A123M - Standard Specification for Zinc (Hot-Dip Galvanized) Coatings on Iron and Steel Products; 2024.

G. ASTM A153/A153M - Standard Specification for Zinc Coating (Hot-Dip) on Iron and Steel Hardware; 2023.

H. ASTM A307 - Standard Specification for Carbon Steel Bolts, Studs, and Threaded Rod 60 000 PSI Tensile Strength; 2021.

I. ASTM A501/A501M - Standard Specification for Hot-Formed Welded and Seamless Carbon Steel Structural Tubing; 2021.

J. ASTM A666/A666M - Standard Specification for Annealed or Cold-Worked Austenitic Stainless Steel Sheet, Strip, Plate, and Flat Bar; 2024.

K. ASTM A1011/A1011M - Standard Specification for Steel, Sheet and Strip, Hot-Rolled, Carbon, Structural, High-Strength Low-Alloy, High-Strength Low-Alloy with Improved Formability, and Ultra-High Strength; 2023.

L. ASTM B210/B210M - Standard Specification for Aluminum and Aluminum-Alloy Drawn Seamless Tubes; 2019a.

M. ASTM B209/B209M - Standard Specification for Aluminum and Aluminum-Alloy Sheet and Plate; 2021a.

N. ASTM B221 - Standard Specification for Aluminum and Aluminum-Alloy Extruded Bars, Rods, Wire, Profiles, and Tubes; 2021.

O. AWS A2.4 - Standard Symbols for Welding, Brazing, and Nondestructive Examination; 2020.

P. AWS D1.1/D1.1M - Structural Welding Code - Steel; 2025.

Q. AWS D1.2/D1.2M - Structural Welding Code - Aluminum; 2014, with Errata (2020).

R. SSPC-Paint 15 - Steel Joist Shop Primer/Metal Building Primer; 2004.

S. SSPC-Paint 20 - Zinc-Rich Coating (Type I - Inorganic, and Type II - Organic); 2019.

T. SSPC-SP 2 - Hand Tool Cleaning; 2024.

1.03 SUBMITTALS

A. Shop Drawings: Indicate profiles, sizes, connection attachments, reinforcing, anchorage, size and type of fasteners, and accessories. Include erection drawings, elevations, and details where applicable.
1. Indicate welded connections using standard AWS A2.4 welding symbols. Indicate net weld lengths.

PART 2 PRODUCTS

2.01 MATERIALS - STEEL

A. Steel Sections: ASTM A36/A36M.

B. Steel Tubing: ASTM A501/A501M hot-formed structural tubing.

C. Pipe: ASTM A53/A53M, Grade B Schedule 40, black finish.

D. Stainless Steel, General: ASTM A666/A666M, Type 304.

E. Mechanical Fasteners: Same material as or compatible with materials being fastened; type consistent with design and specified quality level.

F. Bolts, Nuts, and Washers: ASTM A307, Grade A, plain.

G. Welding Materials: AWS D1.1/D1.1M; type required for materials being welded.

H. Shop and Touch-Up Primer: SSPC-Paint 15, complying with VOC limitations of authorities having jurisdiction.

I. Touch-Up Primer for Galvanized Surfaces: SSPC-Paint 20, Type I - Inorganic, complying with VOC limitations of authorities having jurisdiction.

2.02 MATERIALS - ALUMINUM

A. Extruded Aluminum: ASTM B221 (ASTM B221M), 6063 alloy, T6 temper.

B. Sheet Aluminum: ASTM B209/B209M, 5052 alloy, H32 or H22 temper.

C. Aluminum-Alloy Drawn Seamless Tubes: ASTM B210/B210M, 6063 alloy, T6 temper.

D. Bolts, Nuts, and Washers: Stainless steel.

E. Welding Materials: AWS D1.2/D1.2M; type required for materials being welded.

2.03 FABRICATION

A. Fit and shop assemble items in largest practical sections, for delivery to site.

B. Fabricate items with joints tightly fitted and secured.

C. Grind exposed joints flush and smooth with adjacent finish surface. Make exposed joints butt tight, flush, and hairline. Ease exposed edges to small uniform radius.

D. Exposed Mechanical Fastenings: Flush countersunk screws or bolts; unobtrusively located; consistent with design of component, except where specifically noted otherwise.

E. Furnish components required for anchorage of fabrications. Fabricate anchors and related components of same material and finish as fabrication, except where specifically noted otherwise.

2.04 FINISHES - STEEL

A. Clean surfaces of rust, scale, grease, and foreign matter prior to finishing.

B. Prime Painting: One coat.

C. Galvanizing of Non-structural Items: Galvanize after fabrication to ASTM A123/A123M requirements.

2.05 FINISHES - ALUMINUM

A. High Performance Organic Coating System: AAMA 2604 multiple coat, thermally cured fluoropolymer system; color as indicated.

2.06 FABRICATION TOLERANCES

A. Squareness: 1/8 inch (3 mm) maximum difference in diagonal measurements.

B. Maximum Offset Between Faces: 1/16 inch (1.5 mm).

C. Maximum Misalignment of Adjacent Members: 1/16 inch (1.5 mm).

D. Maximum Bow: 1/8 inch (3 mm) in 48 inches (1.2 m).

E. Maximum Deviation From Plane: 1/16 inch (1.5 mm) in 48 inches (1.2 m).

PART 3 EXECUTION

3.01 EXAMINATION

A. Verify that field conditions are acceptable and are ready to receive work.

3.02 PREPARATION

A. Clean and strip primed steel items to bare metal where site welding is required.

3.03 INSTALLATION

A. Install items plumb and level, accurately fitted, free from distortion or defects.

B. Obtain approval prior to site cutting or making adjustments not scheduled.

3.04 TOLERANCES

A. Maximum Variation From Plumb: 1/4 inch (6 mm) per story, non-cumulative.

B. Maximum Offset From True Alignment: 1/4 inch (6 mm).

C. Maximum Out-of-Position: 1/4 inch (6 mm).

END OF SECTION

SECTION 057000
GLASS RAILING SYSTEM

PART 1 GENERAL

1.01 SECTION INCLUDES

1.02 REFERENCE STANDARDS

A. 16 CFR 1201 - Safety Standard for Architectural Glazing Materials; Current Edition.

B. AISC 201 - AISC Certification Program for Structural Steel Fabricators, Standard for Steel Building Structures; 2006.

C. AAMA 611 - Specification for Anodized Architectural Aluminum; 2024.

D. ASTM A123/A123M - Standard Specification for Zinc (Hot-Dip Galvanized) Coatings on Iron and Steel Products; 2024.

E. ASTM A36/A36M - Standard Specification for Carbon Structural Steel; 2019.

F. ASTM A276/A276M - Standard Specification for Stainless Steel Bars and Shapes; 2025.

G. ASTM A307 - Standard Specification for Carbon Steel Bolts, Studs, and Threaded Rod 60 000 PSI Tensile Strength; 2021.

H. ASTM A666/A666M - Standard Specification for Annealed or Cold-Worked Austenitic Stainless Steel Sheet, Strip, Plate, and Flat Bar; 2024.

I. ASTM A1008/A1008M - Standard Specification for Steel, Sheet, Cold-Rolled, Carbon, Structural, High-Strength Low-Alloy, High-Strength Low-Alloy with Improved Formability, Required Hardness, Solution Hardened, and Bake Hardenable; 2024.

J. ASTM B221 - Standard Specification for Aluminum and Aluminum-Alloy Extruded Bars, Rods, Wire, Profiles, and Tubes; 2021.

K. ASTM B221M - Standard Specification for Aluminum and Aluminum-Alloy Extruded Bars, Rods, Wire, Profiles, and Tubes (Metric); 2021.

L. AWS D1.1/D1.1M - Structural Welding Code - Steel; 2025.

M. NAAMM AMP 500-06 - Metal Finishes Manual; 2006.

N. SSPC-Paint 15 - Steel Joist Shop Primer/Metal Building Primer; 2004.

O. SSPC-SP 1 - Solvent Cleaning; 2015, with Editorial Revision (2016).

1.03 ADMINISTRATIVE REQUIREMENTS

A. Pre-Installation Meeting: Schedule and conduct preinstallation meeting one week before starting work of this section. Attendees include:
1. Contractor.
2. Manufacturer's representative.
3. Owner's representative.
4. Other subcontractors of adjacent work.

1.04 SUBMITTALS

A. Product Data: Submit manufacturer's product data, including description of materials, components, finishes, fabrication details, anchors, and accessories.

B. Shop Drawings: Indicate elevations and sections, details of profile, dimensions, sizes, connection attachments, anchorage, size and type of fasteners, and accessories. Indicate anchor and joint locations, brazed connections, transitions, and terminations.

C. Manufacturer's Instructions: Indicate installation.

D. Installer's qualification statement.

E. Executed warranty.

1.05 QUALITY ASSURANCE

A. Manufacturer Qualifications: Company specializing in manufacturing products specified in this section with not less than five years of documented experience.

B. Installer Qualifications:
1. Installer specialized in work of type specified with at least five years of documented experience and approved by manufacturer.

C. Templates: Supply installation templates, reinforcing, and required anchorage devices.

1.06 DELIVERY, STORAGE, AND HANDLING

A. Deliver materials in factory-provided protective coverings and packaging.

B. Protect materials against damage during transit, delivery, storage, and installation at site.

C. Inspect materials for damage upon delivery. Replace damaged and unrepairable materials. Ensure replacement materials are indistinguishable from undamaged parts and finishes.

D. Prior to installation, store materials and components under cover in a dry location.

1.07 WARRANTY

A. Manufacturer Warranty: Provide 1-year manufacturer warranty for defects in materials, fabrication, finishes, and installation. Complete forms in Owner's name and register with manufacturer.

PART 2 PRODUCTS

2.01 RAILING SYSTEMS

A. General: Factory- or shop-fabricated to suit project conditions, for proper connection to building structure and in largest sizes practical for delivery to site.

B. Performance Requirements: Applying loads simultaneously not required; design and fabricate railings and anchorages to resist loads without failure, damage or permanent set, including:
1. Lateral force: 75lb minimum, when tested in accordance with ASTM E935.
2. Distributed load: 50lb/ft minimum, applied vertically at the top of the railing, when tested in accordance with ASTM E935.
3. Concentrated loads: 200lb minimum, applied to railing horizontally and vertically, in accordance with ASTM E935.

C. Assembly: Use slip-on, nonweld mechanical fittings, flanges, escutcheons and wall brackets to join lengths, seal open ends and conceal exposed mounting bolts and nuts.

D. Joints: Machined smooth with hairline seams; tightly fitted and secured.

E. Field connections: Provide sleeves to accommodate site assembly and installation.

F. Structural Glass Railing System, Wall-Mounted: Engineered hardware supported railing system with structural glass.
1. Configuration: Guardrail only.
2. Top Rail: None.
3. Hardware: Illumi-Glass Shoerail, heavy duty anodized aluminum. Fascia mounted.
4. Glass: As specified in this section.
5. Stainless steel finish, exposed surfaces: Finish: Powder coat, Color: As indicated on drawings.
6. Aluminum finish, exposed surfaces: Finish: Powder coat, Color: As indicated on drawings.

2.02 MATERIALS

A. Aluminum Components: ASTM B221 or ASTM B221M. Finish: powder coat. Color: As indicated on drawings.

B. Stainless Steel Components:
1. Section, Plates: ASTM A666/A666M, Type 304. Finish: powder coat. Color: As indicated on drawings.

C. Glass: Laminated safety glass; ASTM C1172.
1. Plastic interlayer: Minimum 0.060 inch thick.
2. Impact Strength: Category II, tested in accordance with 16 CFR 1201.
3. Thickness: 9/16 inch.
4. Configuration: As indicated on drawings.
5. Edges: ground smooth and polished.
6. Color: Clear, no tint.

2.03 FABRICATION

A. Fit and shop assemble items in largest practical sections for delivery to site.

B. Fabricate items with joints tightly fitted and secured.

C. Grind exposed joints flush and smooth with adjacent finish surface. Make exposed joints butt tight, flush, and hairline. Ease exposed edges to small uniform radius.

2.04 FINISHES

A. General: Comply with NAAMM AMP 500-06.
1. Complete mechanical finishes before fabrication. After fabrication, finish joints, bends, abrasions, and surface blemishes to match sheet.
2. Protect mechanical finishes on exposed surfaces from damage.
3. Appearance: Limit variations in appearance of adjacent pieces to one-half of range represented in approved samples. Noticeable variations in same piece are not acceptable. Install components within range of approved samples to minimize contrast.

B. Stainless Steel Finishes:
1. Remove tool marks, die marks, and stretch lines before finishing.
2. Directional Satin: No.4.
3. Directional Finishes: Run grain with long dimension of each item.

2.05 ACCESSORIES

A. Anchors and Fasteners: Provide anchors, fasteners, and other attachment devices required to attach to structure. Ensure attachment devices are of same material as components unless indicated otherwise.

B. Bituminous Coating: Cold-applied asphalt mastic, noncorrosive compound free of asbestos, sulfur, and other deleterious impurities; 0.015 inch (0.4 mm) dry film thickness per coat.

C. Finish Touch-Up Materials: As recommended by manufacturer for field application.

D. Shop and Touch-Up Primer: SSPC-Paint 15, complying with VOC limitations of authorities having jurisdiction.

PART 3 EXECUTION

3.01 EXAMINATION

A. Verify that substrate and site conditions are acceptable and ready to receive work.

B. Verify field dimensions of locations and areas to receive work.

C. Notify Architect immediately of conditions that would prevent satisfactory installation.

D. Do not proceed with work until detrimental conditions have been corrected.

3.02 PREPARATION

A. Review installation drawings before beginning installation. Coordinate diagrams, templates, instructions and directions for installation of anchorages and fasteners.

B. Protect existing work.

C. Clean surfaces to receive units. Remove materials and substances detrimental to installation.

3.03 INSTALLATION

A. Comply with manufacturer's drawings and written instructions.

B. Install components plumb and level, accurately fitted, free from distortion or defects, and with tight joints, except where necessary for expansion.

C. Anchor securely to structure.

D. Conceal anchor bolts and screws whenever possible. Where not concealed, use flush countersunk fastenings.

E. Isolate dissimilar materials with bituminous coating, bushings, grommets, or washers to prevent electrolytic corrosion.

3.04 CLEANING

A. Remove protective film from exposed metal surfaces.

B. Metal: Clean exposed metal finishes with potable water and mild detergent, in accordance with manufacturer recommendations; do not use abrasive materials or chemicals, detergents, or other substances that may damage the material or finish.

C. Glass and Glazing: Clean glazing surfaces; remove excess glazing sealant compounds, dirt and other substances.

3.05 PROTECTION

A. Protect installed components and finishes from damage after installation.

B. Repair damage to exposed finishes to be indistinguishable from undamaged areas.

C. If damage to finishes and components cannot be repaired to be indistinguishable from undamaged finishes and components, replace damaged items.

END OF SECTION

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OVERROOF PROJECT

WALKER THEATRE ROOFTOP EVENT SPACE

617 Indiana Avenue
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REVISIONS

No.	Description	Date
1	ADDENDUM 2	12/16/25

CERTIFIED BY:

ISSUE DATE: 08/25/2025

DRAWN: J.D.S. CHECKED: D.L.

PROJECT NO.: 4021-25017

REVISION NO.: 2

ARCHITECTURAL SPECS

AS101

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SECTION 062000
FINISH CARPENTRY

PART 1 GENERAL

1.01 SECTION INCLUDES

A. Finish carpentry items.

B. Hardware and attachment accessories.

1.02 REFERENCE STANDARDS

A. AWI/AWMAC/WI (AWS) - Architectural Woodwork Standards, 2nd Edition; 2014, with Errata (2016).

B. AWMAC/WI (NAAWS) - North American Architectural Woodwork Standards; 2021, with Errata.

C. NHLA G-101 - Rules for the Measurement and Inspection of Hardwood and Cypress; 2023.

1.03 SUBMITTALS

A. Samples: Submit two samples of finish wood, 1x2x6 inches in size illustrating wood grain and specified finish.

1.04 DELIVERY, STORAGE, AND HANDLING

A. Protect from moisture damage.

B. Handle materials and products to prevent damage to edges, ends, or surfaces.

PART 2 PRODUCTS

2.01 FINISH CARPENTRY ITEMS

A. Exterior Woodwork Items:
   1. Drink rail.

2.02 LUMBER MATERIALS

A. Hardwood Lumber: Ipe species, ; with vertical grain air dried for outdoor use.
   1. Grading: In accordance with NHLA G-101 Grading Rules; www.nhla.com.

2.03 ACCESSORIES

A. Neoprene gaskets, 1/4 inch thick.
   1. Profiles: As indicated on drawings.

2.04 HARDWARE

A. Countertop Support Brackets: Fixed, corner reinforced, face-of parapet mounting.
   1. Material: aluminum.
      a. Finish: , powder coat.
      b. Color: as indicated on Drawings.
      c. Size: refer to drawings.

2.05 FABRICATION

A. Shop assemble work for delivery to site, permitting passage through building openings.

B. When necessary to cut and fit on site, provide materials with ample allowance for cutting. Provide trim for scribing and site cutting.

PART 3 EXECUTION

3.01 EXAMINATION

A. Verify adequacy of backing and support framing.

B. Verify electrical, and building items affecting work of this section are placed and ready to receive this work.

3.02 INSTALLATION

A. Install custom fabrications in accordance with AWI/AWMAC/WI (AWS) or AWMAC/WI (NAAWS) requirements for grade indicated.

B. Set and secure materials and components in place, plumb and level.

C. Carefully scribe work abutting other components, with maximum gaps of 1/32 inch (0.79 mm). Do not use additional overlay trim to conceal larger gaps.

3.03 SITE APPLIED WOOD TREATMENT

A. Sealer: Messmer's UV Plus for Hardwood Decks

B. Apply Ipe seal treatment in accordance with manufacturer's instructions.

C. Allow preservative to dry prior to erecting members.

3.04 TOLERANCES

A. Maximum Variation from True Position: 1/16 inch (1.6 mm).

B. Maximum Offset from True Alignment with Abutting Materials: 1/32 inch (0.79 mm).

END OF SECTION

SECTION 079200
JOINT SEALANTS - PECORA

PART 2 PRODUCTS

1.01 JOINT SEALANT APPLICATIONS

A. Scope:
   1. Exterior Joints: Seal open joints, whether or not the joint is indicated on drawings, unless specifically indicated not to be sealed. Exterior joints to be sealed include, but are not limited to, the following items.
      a. Wall expansion and control joints.
      b. Joints between door, window, and other frames and adjacent construction.
      c. Joints between different exposed materials.
      d. Openings below ledge angles in masonry.
      e. Other joints indicated below.
   2. Interior Joints: Do not seal interior joints unless specifically indicated to be sealed. Interior joints to be sealed include, but are not limited to, the following items.
      a. Joints between door, window, and other frames and adjacent construction.
      b. Other joints indicated below.
   3. Do not seal the following types of joints.
      a. Intentional weep holes in masonry.
      b. Joints indicated to be treated with manufactured expansion joint cover or some other type of sealing device.
      c. Joints where sealant is specified to be provided by manufacturer of product to be sealed.
      d. Joints where installation of sealant is specified in another section.
      e. Joints between suspended panel ceilings/grid and walls.

B. Type ___ - Exterior Joints: Use non-sag non-staining silicone sealant, unless otherwise indicated.

C. Type ___ - Interior Joints: Use non-sag polyurethane sealant, unless otherwise indicated.

1.02 NON-SAG JOINT SEALANTS

A. Type ___ - Non-Staining Silicone Sealant: ASTM C920, Grade NS, Uses M and A; not expected to withstand continuous water immersion or traffic.
   1. Movement Capability: _____, minimum.
   2. Non-Staining To Porous Stone: Non-staining to light-colored natural stone when tested in accordance with ASTM C1248.
   3. Dirt Pick-Up: Reduced dirt pick-up compared to other silicone sealants.

B. Type ___ - Polyurethane Sealant: ASTM C920, Grade NS, Uses M and A; single or multi-component; not expected to withstand continuous water immersion or traffic.
   1. Movement Capability: Plus and minus 25 percent, minimum.

END OF SECTION

SECTION 096500
RESILIENT FLOORING

PART 1 GENERAL

1.01 SECTION INCLUDES

A. Resilient base.

B. Installation accessories.

1.02 REFERENCE STANDARDS

A. ASTM F1861 - Standard Specification for Resilient Wall Base; 2021.

1.03 SUBMITTALS

A. Selection Samples: Submit manufacturer's complete set of color samples for Architect's initial selection.

1.04 DELIVERY, STORAGE, AND HANDLING

A. Upon receipt, immediately remove any shrink-wrap and check materials for damage and the correct style, color, quantity and run numbers.

B. Store all materials off of the floor in an acclimatized, weather-tight space.

PART 2 PRODUCTS

2.01 RESILIENT BASE

A. Resilient Base: Match existing, verify with Walker Theatre.

2.02 ACCESSORIES

A. Subfloor Filler: White premix latex; type recommended by adhesive material manufacturer.

PART 3 EXECUTION

3.01 INSTALLATION - GENERAL

A. Starting installation constitutes acceptance of subfloor conditions.

B. Install in accordance with manufacturer's written instructions.

3.02 INSTALLATION - RESILIENT BASE

A. Fit joints tightly and make vertical. Maintain minimum dimension of 18 inches (45 mm) between joints.

B. Install base on solid backing. Bond tightly to wall and floor surfaces.

3.03 CLEANING

A. Remove excess adhesive from floor, base, and wall surfaces without damage.

B. Clean in accordance with manufacturer's written instructions.

3.04 PROTECTION

A. Prohibit traffic on resilient flooring for 48 hours after installation.

END OF SECTION

SECTION 096813
TILE CARPETING

PART 1 GENERAL

1.01 SECTION INCLUDES

A. Carpet tile, fully adhered.

1.02 REFERENCE STANDARDS

A. CRI 104 - Standard for Installation of Commercial Carpet; 2018.

1.03 SUBMITTALS

A. See Section 013000 - Administrative Requirements, for submittal procedures.

B. Product Data: Provide data on specified products, describing physical and performance characteristics; sizes, patterns, colors available, and method of installation.

C. Samples: Submit two carpet tiles illustrating color and pattern design for each carpet color selected.

D. Maintenance Materials: Furnish the following for Owner's use in maintenance of project.
   1. See Section 016000 - Product Requirements, for additional provisions.
   2. Extra Carpet Tiles: Quantity equal to 25 percent of total installed of each color and pattern installed.

1.04 FIELD CONDITIONS

PART 2 PRODUCTS

2.01 MATERIALS

A. Tile Carpeting, Type Walk-off: Tufted, manufactured in one color dye lot.
   1. Tile Size: Match existing, verify with Walker Theatre.
   2. Color: Match existing, verify with Walker Theatre.

2.02 ACCESSORIES

A. Edge Strips: Embossed aluminum, _____ color.

B. Carpet Tile Adhesive: Recommended by carpet tile manufacturer; releasable type.

PART 3 EXECUTION

3.01 INSTALLATION

A. Starting installation constitutes acceptance of subfloor conditions.

B. Install carpet tile in accordance with manufacturer's instructions.

C. Blend carpet from different cartons to ensure minimal variation in color match.

D. Cut carpet tile clean. Fit carpet tight to intersection with vertical surfaces without gaps.

E. Lay carpet tile in square pattern, with pile direction parallel to next unit, set parallel to building lines.

F. Fully adhere carpet tile to substrate.

G. Trim carpet tile neatly at walls and around interruptions.

H. Complete installation of edge strips, concealing exposed edges.

3.02 CLEANING

A. See Section 017000 - Execution and Closeout Requirements for additional requirements.

B. Remove excess adhesive without damage, from floor, base, and wall surfaces.

C. Clean and vacuum carpet surfaces.

END OF SECTION

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STRUCTURAL ENGINEER:

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INDIANAPOLIS, IN
46220
v. (317) 650-2260

OVERROOF PROJECT

WALKER THEATRE ROOFTOP EVENT SPACE

617 Indiana Avenue
Indianapolis, IN 46202

REVISIONS

No.	Description	Date
1	ADDENDUM 2	12/16/25

CERTIFIED BY:

ISSUE DATE: 08/25/2025

DRAWN: J.D.S. CHECKED: D.L.

PROJECT NO.: 4021-25017

REVISION NO.: 2

ARCHITECTURAL SPECS

AS102

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SECTION 099123
INTERIOR PAINTING

PART 1 GENERAL

1.01 REFERENCE STANDARDS

A. MPI (APSM) - Master Painters Institute Architectural Painting Specification Manual; Current Edition.

B. SSPC-SP 1 - Solvent Cleaning; 2015, with Editorial Revision (2016).

C. SSPC-SP 6/NACE No.3 - Commercial Blast Cleaning; 2006.

1.02 SUBMITTALS

A. Product Data: Provide complete list of products to be used, with the following information for each:
1. Manufacturer's name, product name and/or catalog number, and general product category (e.g., "alkyd enamel").
2. MPI product number (e.g., MPI #47).
3. Cross-reference to specified paint system products to be used in project; include description of each system.

B. Samples: Submit three paper "draw down" samples, 8-1/2 by 11 inches (216 by 279 mm) in size, illustrating range of colors available for each finishing product specified.
1. Where sheen is specified, submit samples in only that sheen.

1.03 DELIVERY, STORAGE, AND HANDLING

A. Deliver products to site in sealed and labeled containers; inspect to verify acceptability.

B. Container Label: Include manufacturer's name, type of paint, brand name, lot number, brand code, coverage, surface preparation, drying time, cleanup requirements, color designation, and instructions for mixing and reducing.

C. Paint Materials: Store at minimum ambient temperature of 45 degrees F (7 degrees C) and a maximum of 90 degrees F (32 degrees C), in ventilated area, and as required by manufacturer's instructions.

1.04 FIELD CONDITIONS

A. Do not apply materials when surface and ambient temperatures are outside the temperature ranges required by the paint product manufacturer.

B. Follow manufacturer's recommended procedures for producing best results, including testing of substrates, moisture in substrates, and humidity and temperature limitations.

C. Minimum Application Temperatures for Paints: 50 degrees F (10 degrees C) for interiors unless required otherwise by manufacturer's instructions.

D. Provide lighting level of 80 fc (860 lux) measured mid-height at substrate surface.

PART 2 PRODUCTS

2.01 MANUFACTURERS

A. Provide paints and finishes used in any individual system from the same manufacturer; no exceptions.

2.02 PAINTS AND FINISHES - GENERAL

A. Paints and Finishes: Ready-mixed, unless intended to be a field-catalyzed paint.
1. Provide paints and finishes of a soft paste consistency, capable of being readily and uniformly dispersed to a homogeneous coating, with good flow and brushing properties, and capable of drying or curing free of streaks or sags.
2. Supply each paint material in quantity required to complete entire project's work from a single production run.
3. Do not reduce, thin, or dilute paint or finishes or add materials unless such procedure is specifically described in manufacturer's product instructions.

B. Colors: To be selected from manufacturer's full range of available colors. Verify with Walker Theatre.
1. Selection to be made by Architect after award of contract.
2. Allow for minimum of three colors for each system, unless otherwise indicated, without additional cost to Owner.
3. Extend colors to surface edges; colors may change at any edge as directed by Architect.
4. In finished areas, finish pipes, ducts, conduit, and equipment the same color as the wall/ceiling under which they are mounted.
5. In utility areas, finish equipment, piping, conduit, and exposed duct work in colors according to the color coding scheme indicated.

2.03 PAINT SYSTEMS - INTERIOR

A. Paint I-OP - Interior Surfaces to be Painted, Unless Otherwise Indicated: Including gypsum board, concrete masonry units, uncoated steel, shop primed steel, galvanized steel, aluminum, and acoustical ceilings.
1. Two top coats and one coat primer.
2. Top Coat(s): Interior Latex; MPI #43, 44, 52, 53, 54, or 114.
   a. Products:
      1) Behr Pro i100 Interior Eggshell Paint [No.PR130]. (MPI #44)
      2) Behr Pro i300 Interior Eggshell Paint [No.PR330]. (MPI #44)
      3) Pittsburgh Paints Speedhide Interior Zero VOC Latex, 6-4101ZV Series, Low Sheen Eggshell. (MPI #44)
      4) Pittsburgh Paints Speedhide Interior Zero VOC Latex, 6-411ZV Series, Eggshell. (MPI #44)
      5) Pittsburgh Paints Speedhide Interior Zero VOC Latex, 6-3511ZV Series, Satin. (MPI #52)
      6) Pittsburgh Paints Speedhide Interior Zero VOC Latex, 6-3011ZV Series, Lo Lustre. (MPI #43)
      7) Pittsburgh Paints Speedhide Interior Latex, 6-4101 Series, Low-Sheen Eggshell. (MPI #44)
      8) Pittsburgh Paints Speedhide Interior Latex, 6-411 Series, Eggshell. (MPI #44)
      9) Pittsburgh Paints Speedhide Interior Latex, 6-3511 Series, Satin. (MPI #52)
      10) Pittsburgh Paints Speedhide Interior Latex, 6-3011 Series, Low-Lustre. (MPI #43)
      11) Sherwin-Williams ProMar 200 HP Series, Low Gloss Eg-Shel. (MPI #44)
      12) Sherwin-Williams ProMar 200 HP Series, Eg-Shel. (MPI #52)
      13) Sherwin-Williams ProMar 200 Zero VOC Interior Latex, Low Sheen. (MPI #44)
      14) Sherwin-Williams ProMar 200 Zero VOC Interior Latex, Eg-Shel. (MPI #52)
      15) Sherwin-Williams Solo Series, Eg-Shel.
      16) Sherwin-Williams Solo Series, Satin.
      17) Sherwin-Williams Superpaint Interior Latex with Air Purifying Technology, Satin.
      18) Vista Paint Corporation; 8300 Carefree Eggshell: www.vistapaint.com/#sle. (MPI #52)
      19) Substitutions: See Section 016000 - Product Requirements
3. Top Coat Sheen:
   a. Eggshell: MPI gloss level 3; use this sheen at all locations.
   b. Satin: MPI gloss level 4; use this sheen for items subject to frequent touching by occupants, including door frames and railings.
4. Primer: As recommended by top coat manufacturer for specific substrate.

2.04 PRIMERS

A. Primers: Provide the following unless other primer is required or recommended by manufacturer of top coats.
1. Interior Latex Primer Sealer; MPI #50.
   a. Products:
      1) Behr Premium Plus Interior All-In-One Primer and Sealer [No.75]. (MPI #50)
      2) Behr Premium Plus Interior Drywall Primer and Sealer [No.73]. (MPI #50)
      3) KILZ 2 All-Purpose Primer [No.2000]. (MPI #50)
      4) KILZ 3 Premium Primer [No.1300]. (MPI #50)
      5) Pittsburgh Paints Speedhide Interior Latex Sealer, 6-2. (MPI #50)
      6) Pittsburgh Paints Speedhide zero VOC Interior Latex Sealer, 6-4900XI. (MPI #50)
      7) Pittsburgh Paints Pure Performance Interior Latex Sealer, 9-900. (MPI #50).
      8) Vista Paint Corporation; 1100 Hi-Build PVA Sealer: www.vistapaint.com/#sle. (MPI #50)
      9) Rust-Oleum Corporation XIM Prime Start Multi-Purpose Primer/Sealer: www.rustoleum.com/#sle. (MPI #50)
      10) Substitutions: See Section 016000 - Product Requirements

PART 3 EXECUTION

3.01 EXAMINATION

A. Verify that surfaces are ready to receive work as instructed by the product manufacturer.

B. Examine surfaces scheduled to be finished prior to commencement of work. Report any condition that may potentially affect proper application.

C. Test shop-applied primer for compatibility with subsequent cover materials.

D. Measure moisture content of surfaces using an electronic moisture meter. Do not apply finishes unless moisture content of surfaces is below the following maximums:
1. Gypsum Wallboard: 12 percent.
2. Masonry, Concrete, and Concrete Masonry Units: 12 percent.

3.02 PREPARATION

A. Clean surfaces thoroughly and correct defects prior to application.

B. Prepare surfaces using the methods recommended by the manufacturer for achieving the best result for the substrate under the project conditions.

C. Remove or mask surface appurtenances, including electrical plates, hardware, light fixture trim, escutcheons, and fittings, prior to preparing surfaces or finishing.

D. Seal surfaces that might cause bleed through or staining of topcoat.

E. Masonry:

F. Gypsum Board: Fill minor defects with filler compound. Spot prime defects after repair.

G. Aluminum: Remove surface contamination and oils and wash with solvent according to SSPC-SP 1.

H. Galvanized Surfaces:

I. Ferrous Metal:
1. Solvent clean according to SSPC-SP 1.
2. Shop-Primed Surfaces: Sand and scrape to remove loose primer and rust. Feather edges to make touch-up patches inconspicuous. Clean surfaces with solvent. Prime bare steel surfaces. Re-prime entire shop-primed item.
3. Remove rust, loose mill scale, and other foreign substances using methods recommended in writing by paint manufacturer and blast cleaning in accordance with SSPC-SP 6/NACE No.3. Protect from corrosion until coated.

3.03 APPLICATION

A. Apply products in accordance with manufacturer's written instructions and recommendations in "MPI Architectural Painting Specification Manual".

B. Do not apply finishes to surfaces that are not dry. Allow applied coats to dry before next coat is applied.

C. Apply each coat to uniform appearance in thicknesses specified by manufacturer.

D. Vacuum clean surfaces of loose particles. Use tack cloth to remove dust and particles just prior to applying next coat.

E. Reinstall electrical cover plates, hardware, light fixture trim, escutcheons, and fittings removed prior to finishing.

3.04 CLEANING

A. Collect waste material that could constitute a fire hazard, place in closed metal containers, and remove daily from site.

3.05 PROTECTION

A. Touch-up damaged finishes after Substantial Completion.

END OF SECTION

SECTION 265100
INTERIOR LIGHTING

PART 2 PRODUCTS

1.01 LUMINAIRES

A. Provide products that comply with requirements of NFPA 70.

B. Provide products that are listed and labeled as complying with UL 1598, where applicable.

C. Provide products listed, classified, and labeled as suitable for the purpose intended.

D. Unless otherwise indicated, provide complete luminaires including lamp(s) and all sockets, ballasts, reflectors, lenses, housings and other components required to position, energize and protect the lamp and distribute the light.

E. Unless specifically indicated to be excluded, provide all required conduit, boxes, wiring, connectors, hardware, supports, trims, accessories, etc. as necessary for a complete operating system.

F. Provide products suitable to withstand normal handling, installation, and service without any damage, distortion, corrosion, fading, discoloring, etc.

END OF SECTION

SECTION 265600
EXTERIOR LIGHTING

PART 2 PRODUCTS

1.01 LUMINAIRES

A. Provide products that comply with requirements of NFPA 70.

B. Provide products that are listed and labeled as complying with UL 1598, where applicable.

C. Provide products listed, classified, and labeled as suitable for the purpose intended.

D. Unless otherwise indicated, provide complete luminaires including lamp(s) and all sockets, ballasts, reflectors, lenses, housings and other components required to position, energize and protect the lamp and distribute the light.

E. Unless specifically indicated to be excluded, provide all required conduit, boxes, wiring, connectors, hardware, poles, foundations, supports, trims, accessories, etc. as necessary for a complete operating system.

F. Provide products suitable to withstand normal handling, installation, and service without any damage, distortion, corrosion, fading, discoloring, etc.

END OF SECTION

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OVERROOF PROJECT

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PROJECT NO.: 4021-25017

REVISION NO.: 2

ARCHITECTURAL SPECS

AS103

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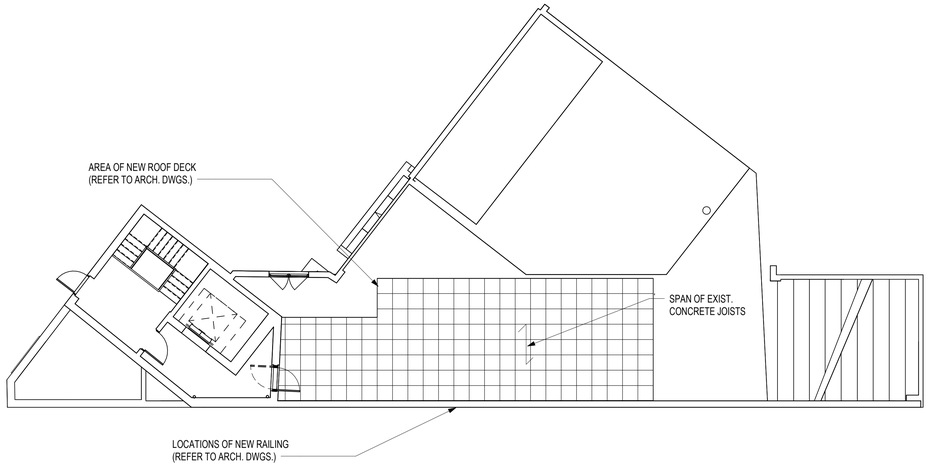
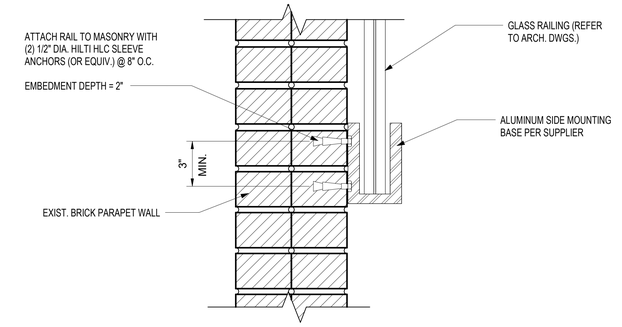


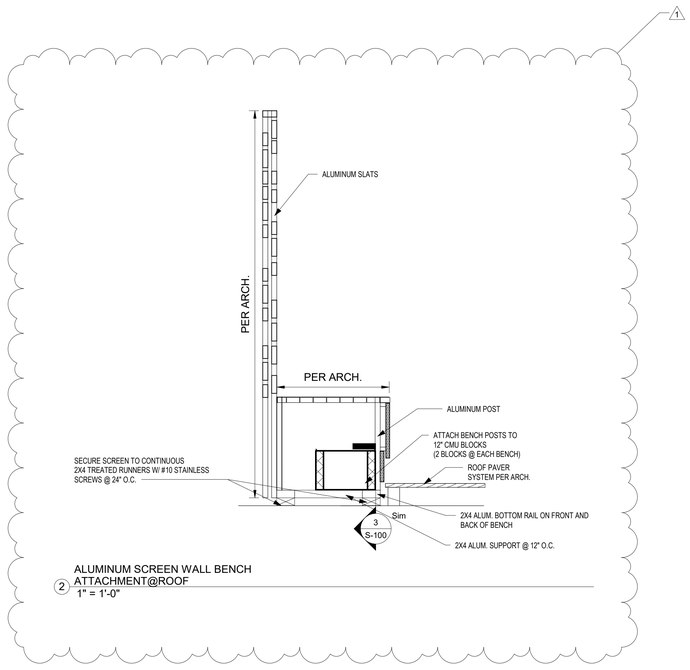
1 ROOFTOP DECK
1/8" = 1'-0"

NOTES/DESIGN CRITERIA:

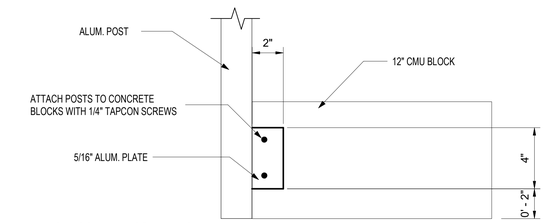
1. ROOF FRAMING IN ROOFTOP EVENT AREA CONSISTS OF 2-1/2" OF CONCRETE OVER 6" REINFORCED CONCRETE JOISTS SPACED AT 24" O.C.
2. ALLOWABLE LIVE LOAD IN NEW ROOFTOP EVENT AREA IS 55 PSF.
3. MAX OCCUPANCY (PER STRUCTURAL DESIGN) = 100 OCCUPANTS
4. CAPACITY OF ROOF IS BASED OFF SITE INVESTIGATION OF THE EXISTING ROOF MEMBERS AND REVIEW OF EXISTING 1927 BUILDING DRAWINGS.
5. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO ATTACHING GLASS RAILING TO EXISTING BRICK PARAPET WALL.
6. NOTIFY ARCHITECT/ENGINEER OF ANY ADVERSE CONDITIONS DURING CONSTRUCTION.
7. ROOF SCREEN WALL BENCHES ARE NOT TO ATTACH DIRECTLY TO ROOFING SYSTEM BUT SHOULD ATTACH TO MOVEABLE CONCRETE BLOCKS PER DETAILS.
8. SCREEN WALL SUPPLIER TO SUBMIT FINAL WEIGHTS OF SYSTEM FOR REVIEW.



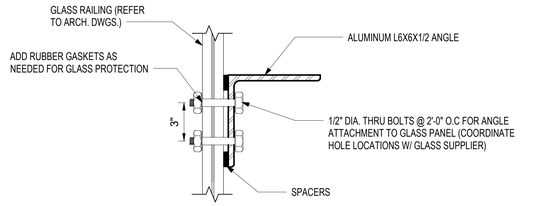
5 GLASS RAIL ATTACHMENT TO BRICK PARAPET WALL
3" = 1'-0"



2 ALUMINUM SCREEN WALL BENCH ATTACHMENT@ROOF
1" = 1'-0"



3 TYPICAL SCREEN POST ATTACHMENT TO CONCRETE BLOCK
3" = 1'-0"



4 DRINK RAIL SUPPORT ANGLE ATTACHMENT TO GLASS
3" = 1'-0"

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ISSUED FOR BID

WALKER THEATRE ROOFTOP EVENT SPACE

617 Indiana Avenue
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REVISIONS

No.	Description	Date
1	ADDENDUM 2	12/16/2025

CERTIFIED BY:

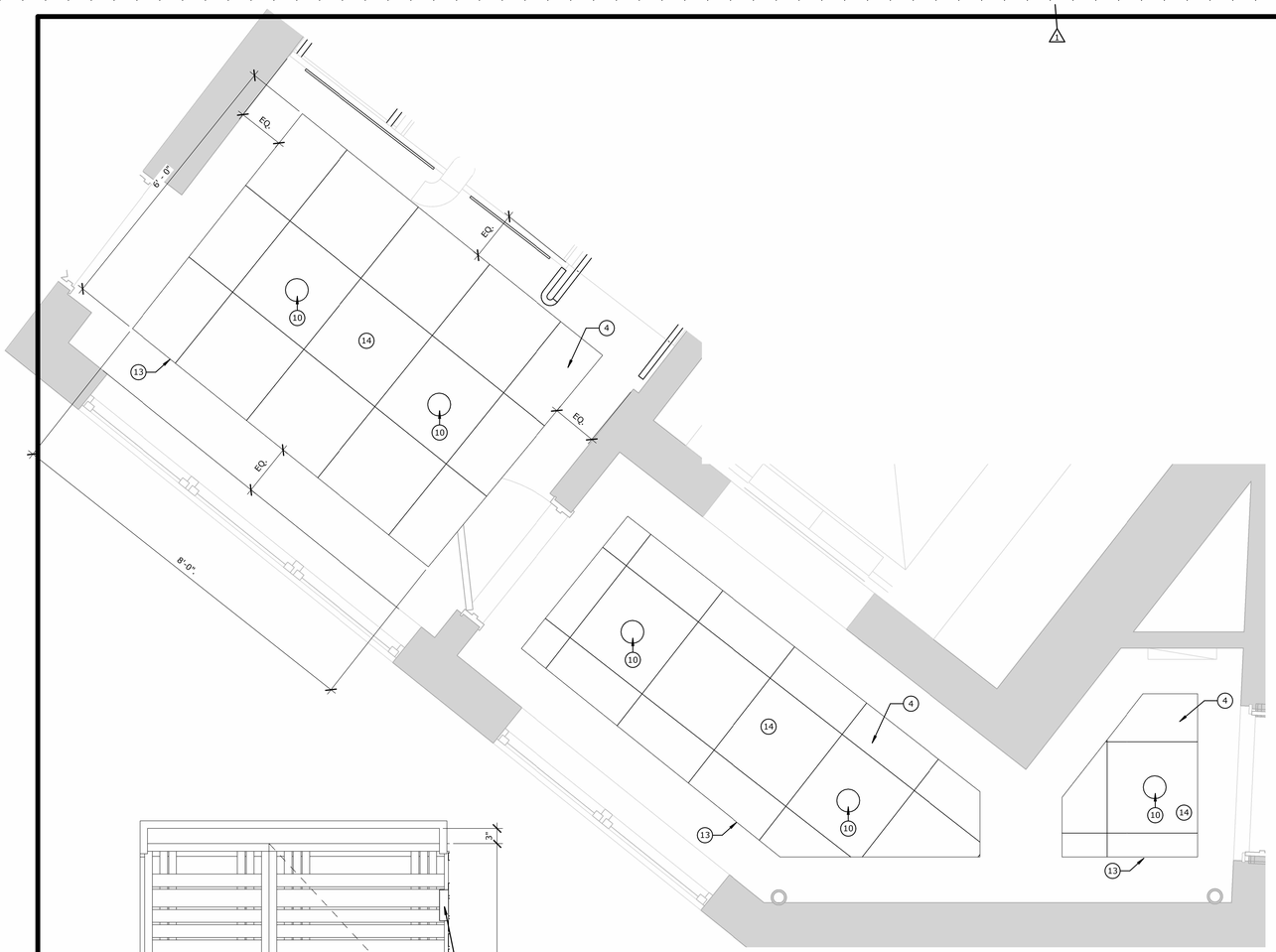
IVAN L. TOLVER
REGISTERED
No. PE11600373
STATE OF INDIANA
PROFESSIONAL ENGINEER

ISSUE DATE: AUGUST 25, 2025
DRAWN: VD
CHECKED: ILT
PROJECT NO.: 4021-25017
REVISION NO.: 2

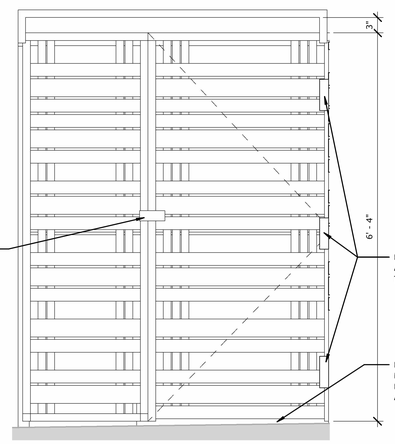
STRUCTURAL DETAILS

S-100

8/25/2025



2 ELEVATOR LOBBY CEILING PLAN
A-101 3/4" = 1'-0"



3 LOCKABLE SCREEN GATE ELEVATION
A-101 1" = 1'-0"

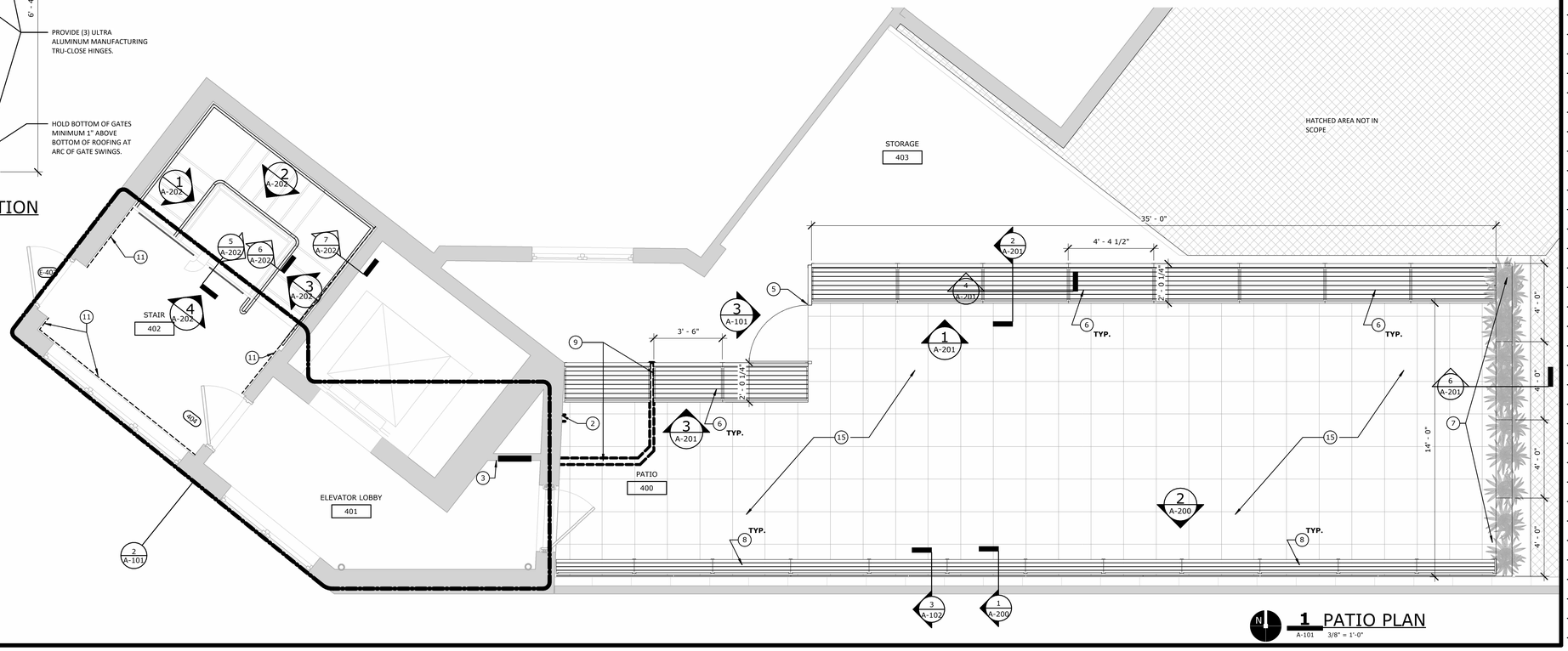
KEYNOTES	
KEY	NOTE
2	PROVIDE NEW FREEZEPROOF HOSE BIB, CONTRACTOR TO COORDINATE PLUMBING ROUTING W/ AVAILABLE COLD WATER SUPPLY FROM TOILET ROOMS BELOW. INSULATED 1/2" COPPER PIPING TO SOURCE.
3	WALL TO HAVE NEW GYPSUM WALL BOARD FROM FLOOR TO DECK. PAINT AND PROVIDE NEW BASE.
4	2'X2' ACT CEILING CLOUD SYSTEM @ 8'-0" AFF.
5	LOCKABLE SCREEN GATE
6	BUILT-IN SEATS W/ INTEGRAL 6'-4" SCREEN WALL
7	(4) NEW 48"x10"x48" POLYMADE CUSTOM PLANTER BOX. COLOR: IRON ORE.
8	WOOD SLAT DRINK RAIL
9	EXTEND EXISTING DOWNSPOUT BENEATH PAVERS AND TERMINATE ON TOP OF ADJACENT EXISTING ROOF MEMBRANE.
10	6" DIA. CAN LIGHT. BASIS OF DESIGN: HALO MATTE WHITE 6-IN LED.
11	DASHED LINE INDICATES EXTENT OF WALL PAINT IN THIS AREA.
13	BASIS OF DESIGN: AXION TRIM AROUND PERIMETER OF CEILING CLOUD, TYP.
14	INTEGRATE NEW CEILING CLOUD LIGHTING INTO EXITING STAIRWELL LIGHTING CONTROLS, COORDINATE ELECTRICAL WITH WALKER THEATRE.
15	EXISTING PAVER SYSTEM

FINISH LEGEND

SURFACE	MARK	DESCRIPTION	MANUFACTURER	PATTERN/FINISH	NUMBER/COLOR	SIZE	COMMENTS
CEILING MATERIAL							
CEILING MATERIAL	ACT-1	LAY-IN CLOUD	ARMSTRONG	ULTIMA, REGULAR EDGE.	WHITE	24"X24"	BASIS OF DESIGN. CONFIRM WITH MADAM WALKER THEATRE. 15/16" EDGE. HOLD DOWN CLIPS REQUIRED.
FLOOR MATERIALS							
FLOOR MATERIALS	C1	CARPET	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	WALK OFF. MATCH EXISTING BUILDING STANDARD. COORDINATE WITH WALKER THEATER.
WALL MATERIAL							
WALL MATERIAL	B1	WALL BASE	-	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	WALL BASE. MATCH EXISTING BUILDING STANDARD. COORDINATE WITH WALKER THEATER.

ROOM FINISH SCHEDULE

ROOM #	ROOM NAME	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH	COMMENTS
401	ELEVATOR LOBBY	CARPET - TBD	VINYL - TBD	PAINT - COLOR TBD	ACT - WHITE. PAINT STRUCTURE ABOVE (BLACK)	
402	STAIR	CARPET - TBD	VINYL - TBD	MATCH EXISTING STAIRWAY WALL PAINT.	PAINT STRUCTURE (BLACK)	



1 PATIO PLAN
A-101 3/8" = 1'-0"

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PATIO/ FLOOR PLAN

A-101

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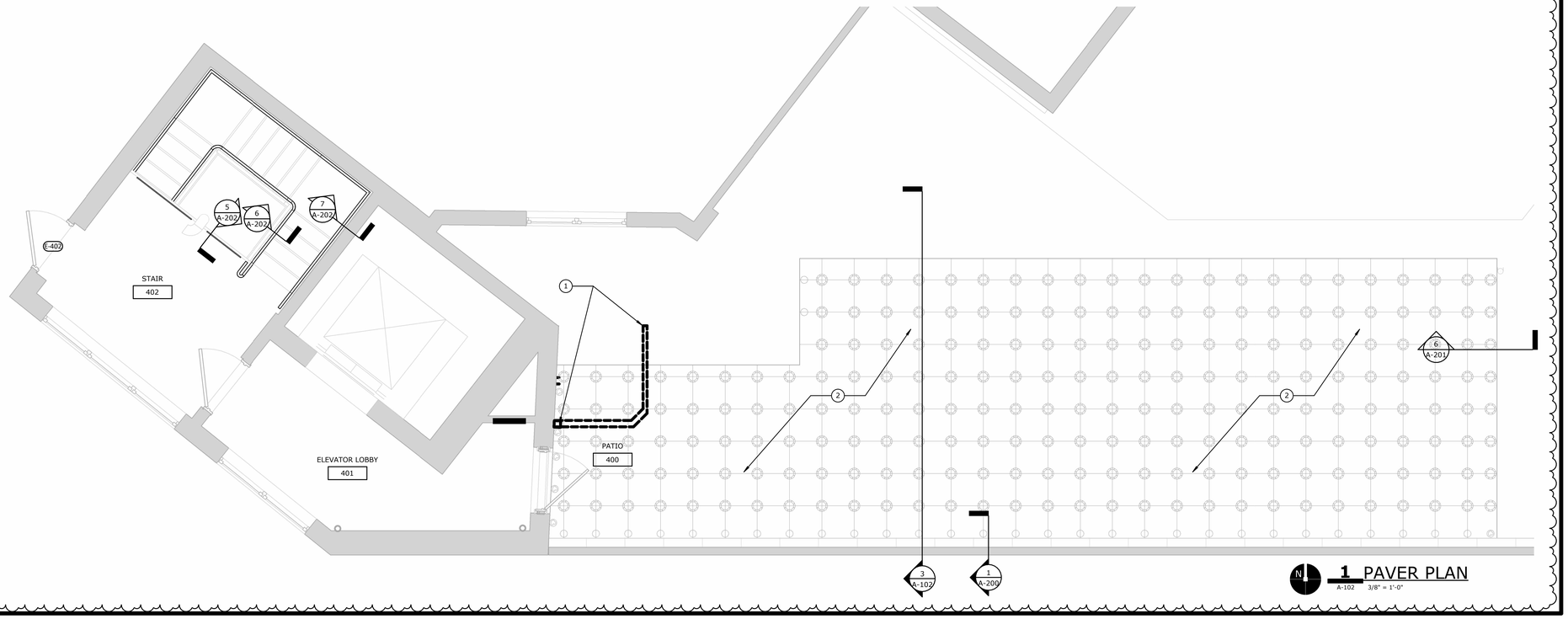
PHASE 1 ROOFING NOTES	
KEY	NOTE
1	EXTEND EXISTING DOWNSPOUT BENEATH PAVERS AND TERMINATE ON TOP OF ADJACENT EXISTING ROOF MEMBRANE.
2	EXISTING PAVER SYSTEM

3 ROOF SECTION
A-102 3/4" = 1'-0"



1 PAVER PLAN
A-102 3/8" = 1'-0"

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PAVER PLAN/DETAILS

A-102

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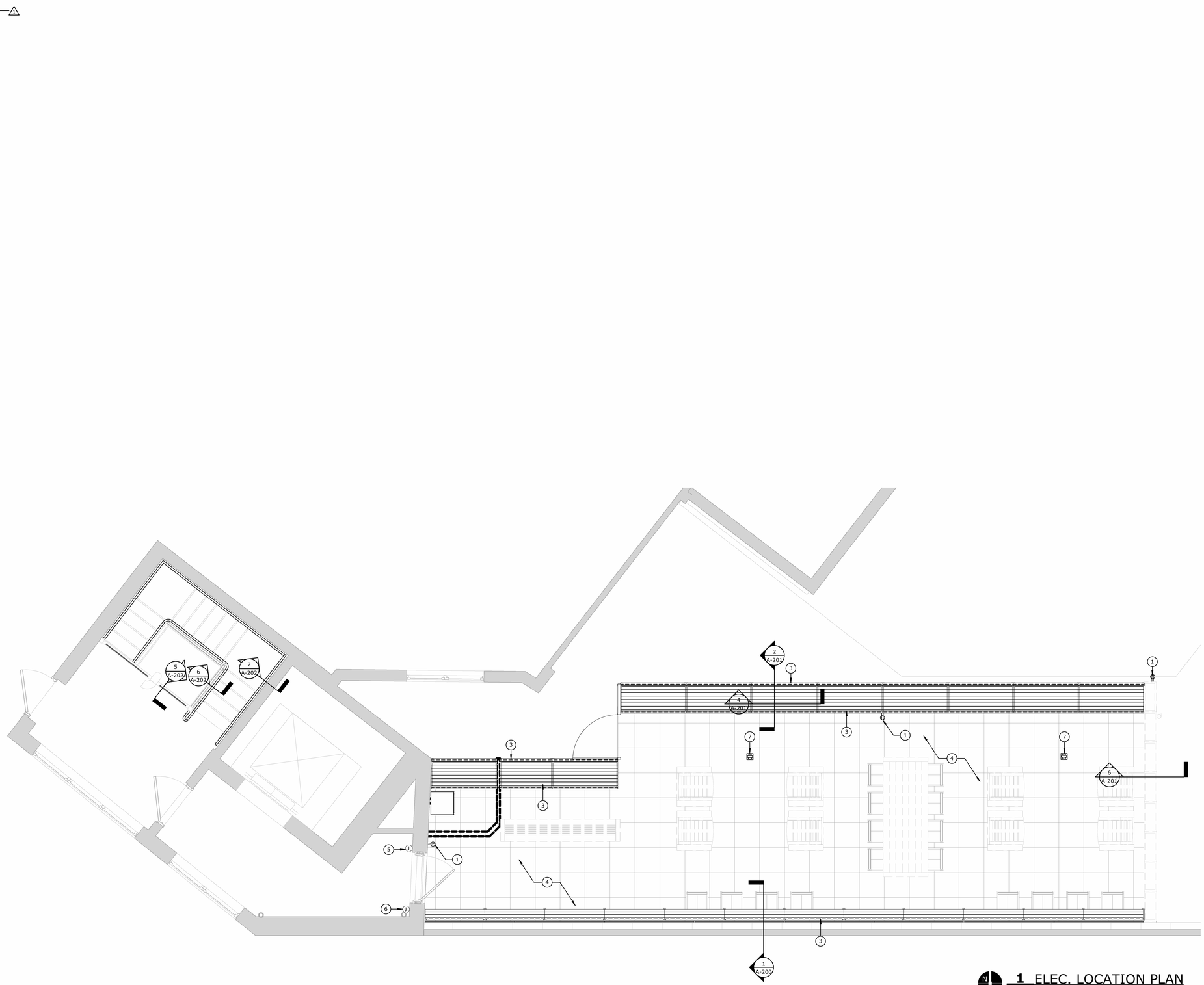
KEYNOTES	
KEY	NOTE
1	120V CONVEINENCE DUPLEX OUTLET IN WEATHER PROOF BOX (BLACK).
3	INSTALL LED LIGHT FIXTURES. PROVIDE CONTROLS WITH TIMER FUNCTIONALITY. SEE SECTIONS/DETAILS FOR SPECIFICATION.
4	ROUTE ALL WIRING TO PANEL IN SEALED PVC CONDUIT.
5	PROVIDE JUNCTION BOX (J-BOX) FOR SCREEN/BENCH LED LIGHTING. COORDINATE POWER CONNECTION.
6	PROVIDE JUNCTION BOX (J-BOX) FOR DRINK RAIL LED LIGHTING. COORDINATE POWER CONNECTION.
7	INSTALL 240V CONVENIENCE OUTLET FOR OUTDOOR HEATER (12.5A). PROVIDE SHUNT TRIP BREAKER. COORD. LOCATION WITH MADAM WALKER THEATRE.

ELECTRICAL LEGEND

- DUPLEX FLOOR OUTLET
- DUPLEX WALL OUTLET
- LIGHT SWITCH
- JUNCTION BOX (J)
- LED STRIP ---------

GENERAL ELECTRICAL NOTE:

PROVIDE SEPARATE DEDICATED CIRCUITS FOR LED LIGHTING AND RECEPTACLES. COORDINATE WITH MADAM WALKER THEATRE.



1 ELEC. LOCATION PLAN
A-103 3/8" = 1'-0"

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ELECTRICAL
LOCATION PLAN

A-103

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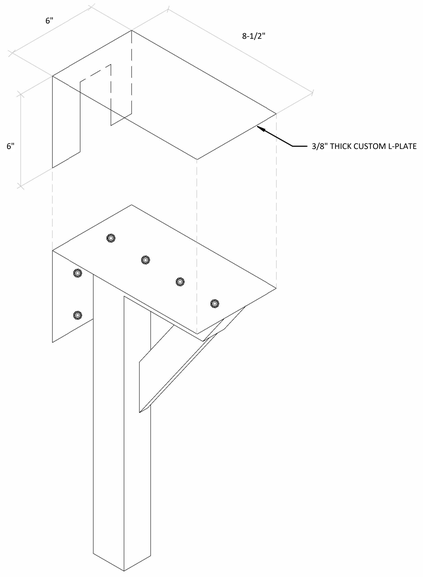
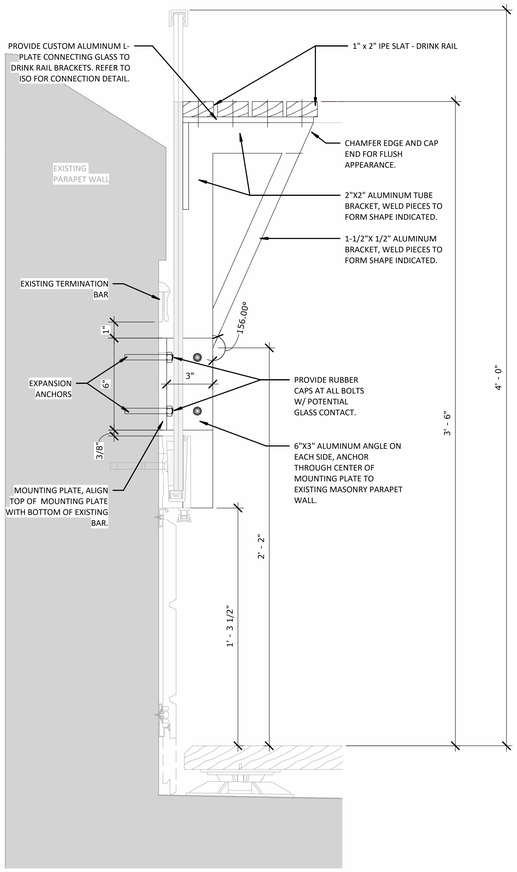
GENERAL NOTES:

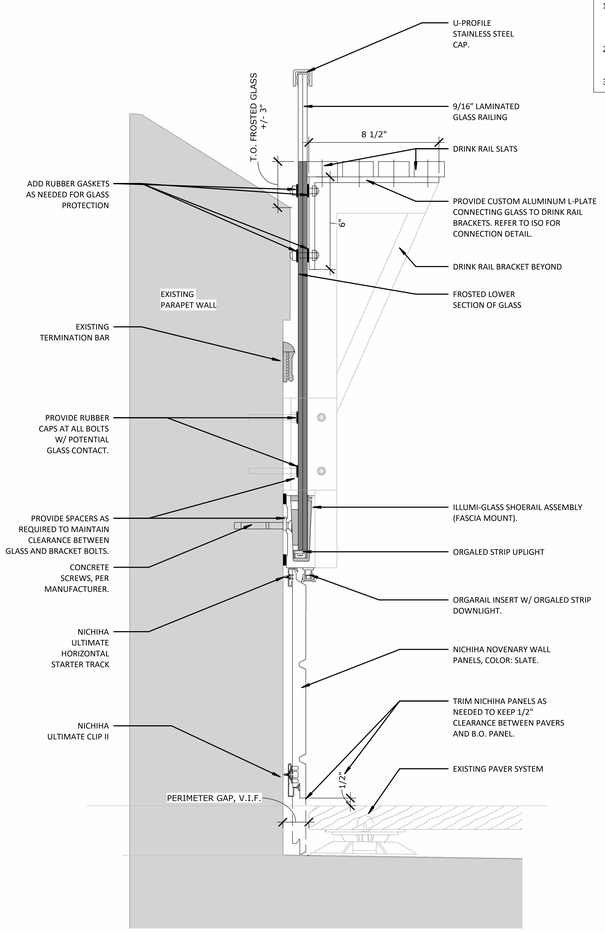
1. ALL ALUMINUM AND STEEL FINISHES TO HAVE BASIS OF DESIGN OF HIGH PERFORMANCE ORGANIC COATING SYSTEM: AAMA 2604 MULTIPLE COAT, THERMALLY CURED FLUOROPOLYMER SYSTEM; COLOR: SPACE BLACK PDR-60402, VERIFY WITH MADAM WALKER THEATRE.
2. IPE FINISH BASIS OF DESIGN: MESSMER'S UV PLUS FOR HARDWOOD DECKS PREP. IPE PER MANUFACTURER'S RECCOMENDATIONS. VERIFY WITH WALKER THEATRE.
3. ALL ALUMINUM JOINTS TO BE WELDED AND GROUNDED SMOOTH.



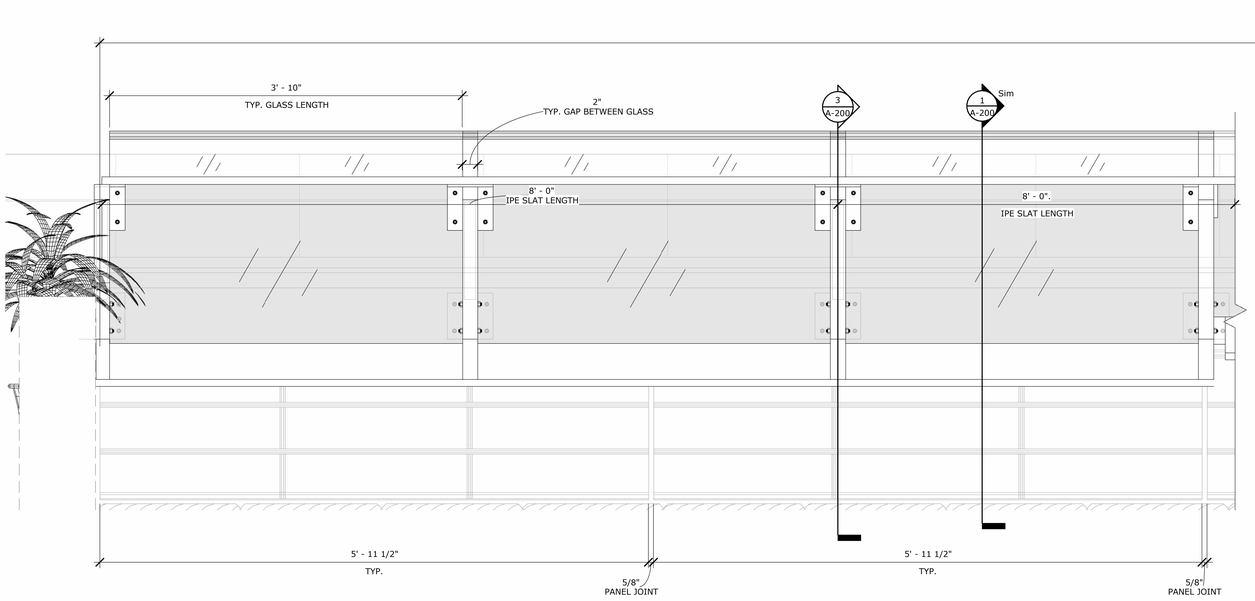
4 BRACKET TO GLASS CONNECTION.
A-200 3" = 1'-0"

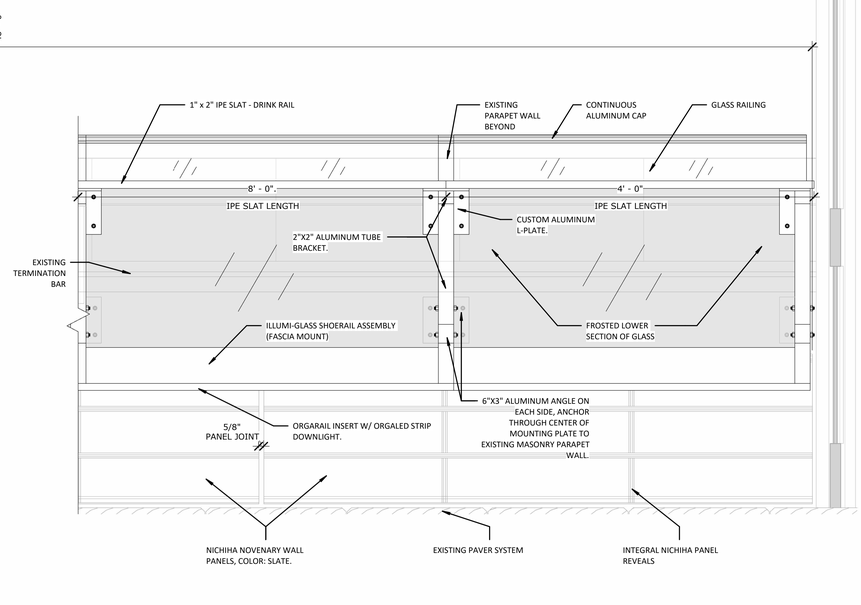


3 DRINK RAIL BRACKET SECTION
A-200 3" = 1'-0"



1 DRINK RAIL GLASS SECTION
A-200 3" = 1'-0"





2 DRINK RAIL ELEVATION
A-200 1 1/2" = 1'-0"

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OVERROOF PROJECT

WALKER THEATRE ROOFTOP EVENT SPACE

617 Indiana Avenue
Indianapolis, IN 46202

REVISIONS

No.	Description	Date
1	ADDENDUM 2	12/16/25

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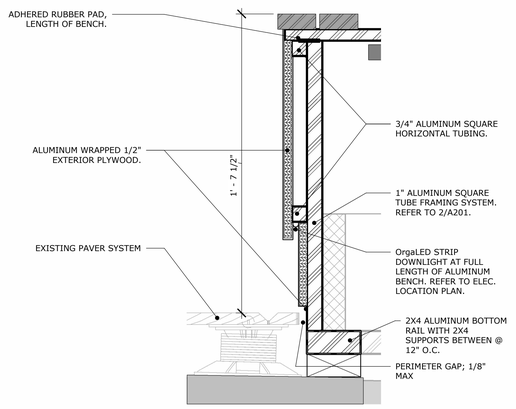
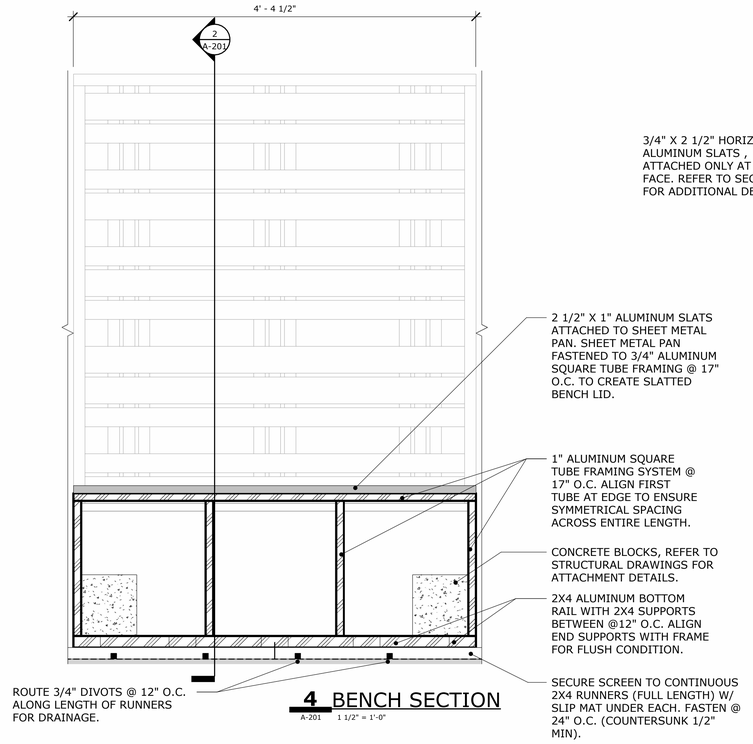
DRINK RAILING DETAILS

A-200

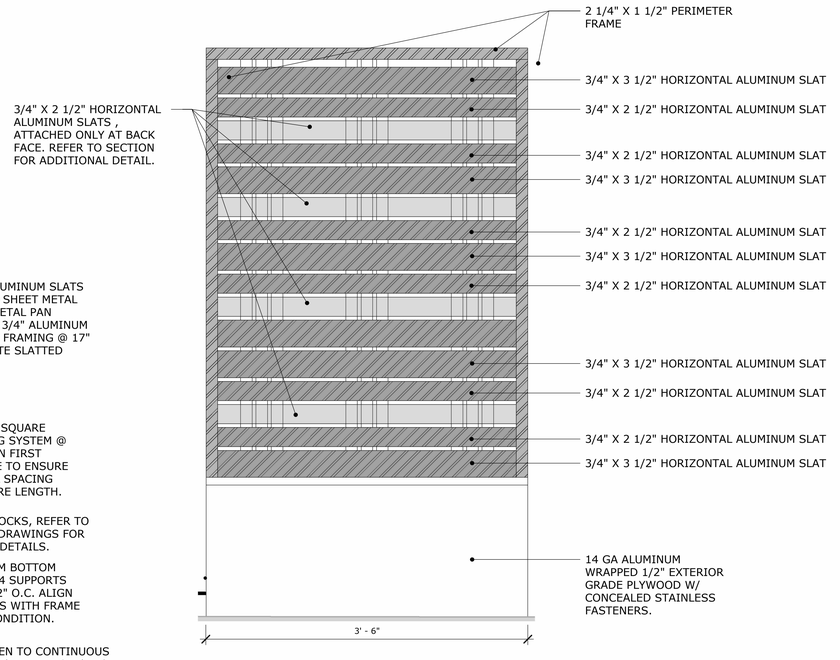
12/16/2025 12:45:11 PM



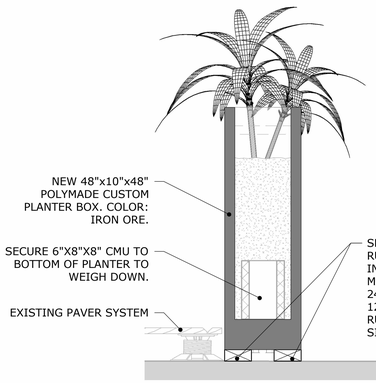
5 BENCH TOE KICK DETAIL
A-201 3" = 1'-0"



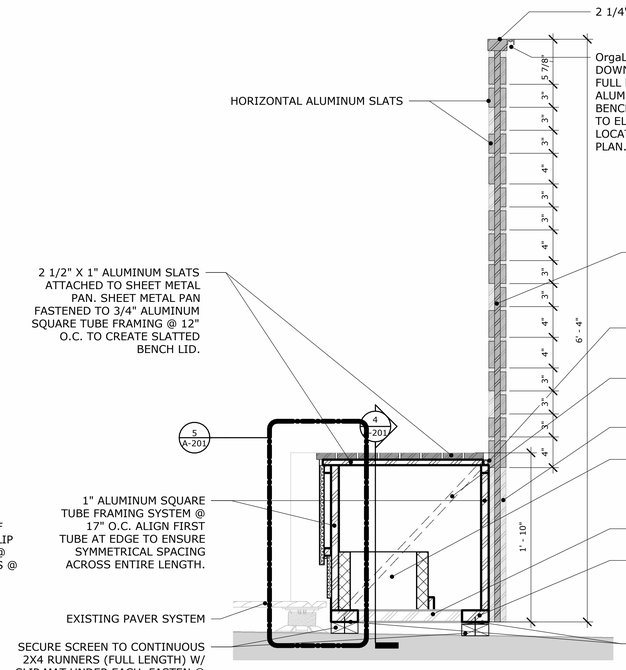
4 BENCH SECTION
A-201 1 1/2" = 1'-0"



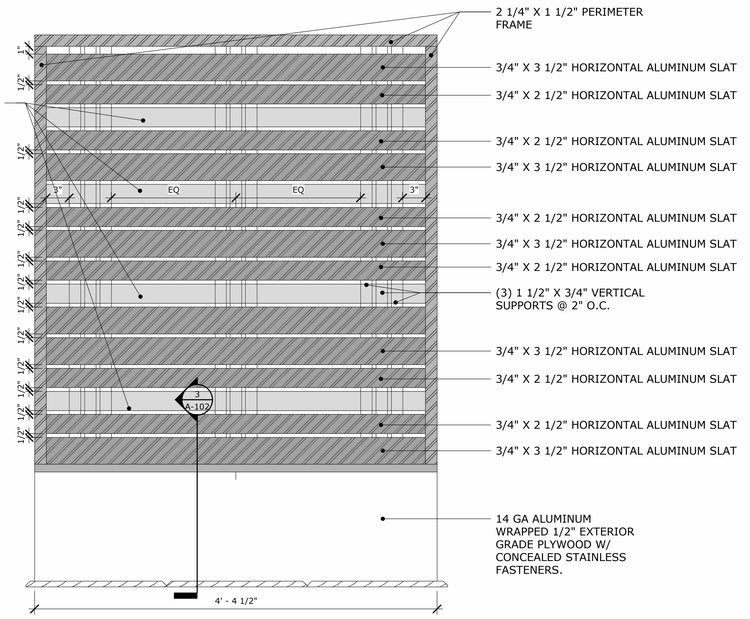
3 42" SCREEN BENCH ELEV.
A-201 1 1/2" = 1'-0"



6 PLANTER SECTION
A-201 1 1/2" = 1'-0"



2 SCREEN WALL BENCH SECTION
A-201 1 1/2" = 1'-0"



1 TYP. SCREEN BENCH ELEV.
A-201 1 1/2" = 1'-0"

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SCREEN WALL DETAILS

A-201

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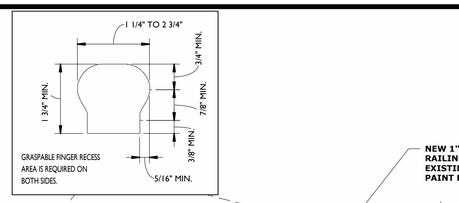
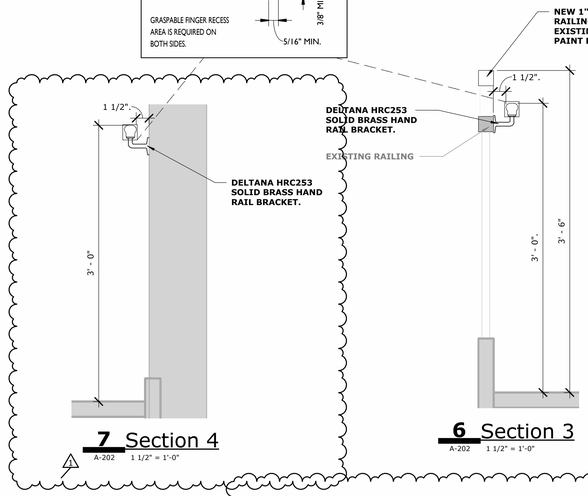
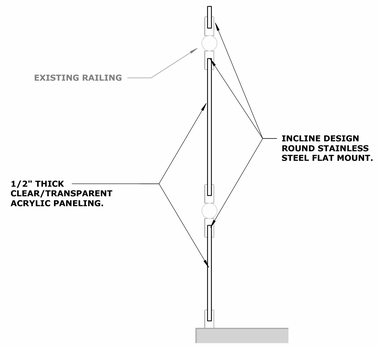


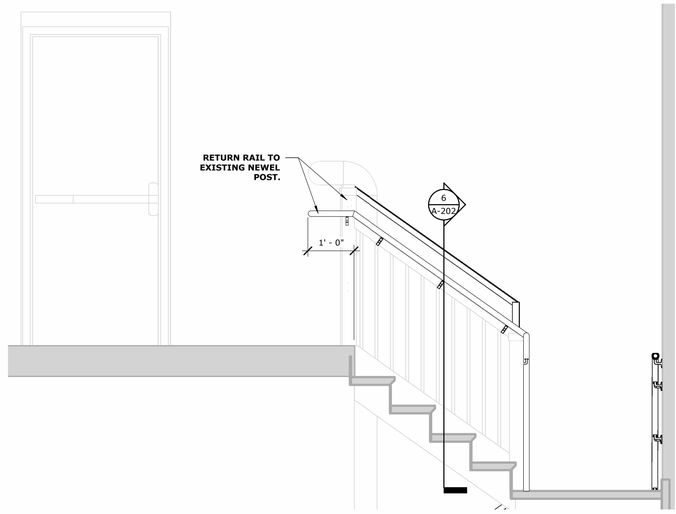


7 Section 4
A-202 1 1/2" = 1'-0"

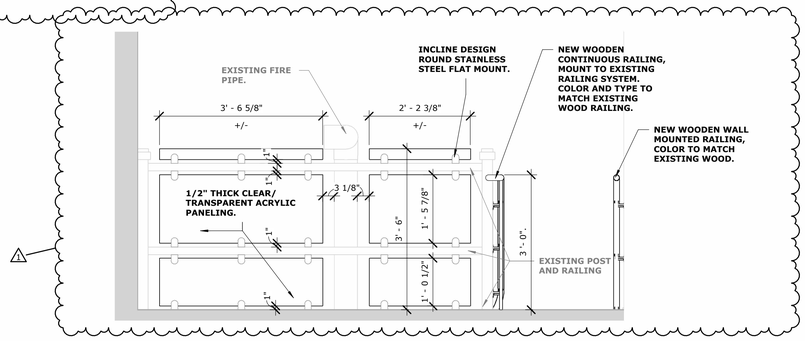
6 Section 3
A-202 1 1/2" = 1'-0"



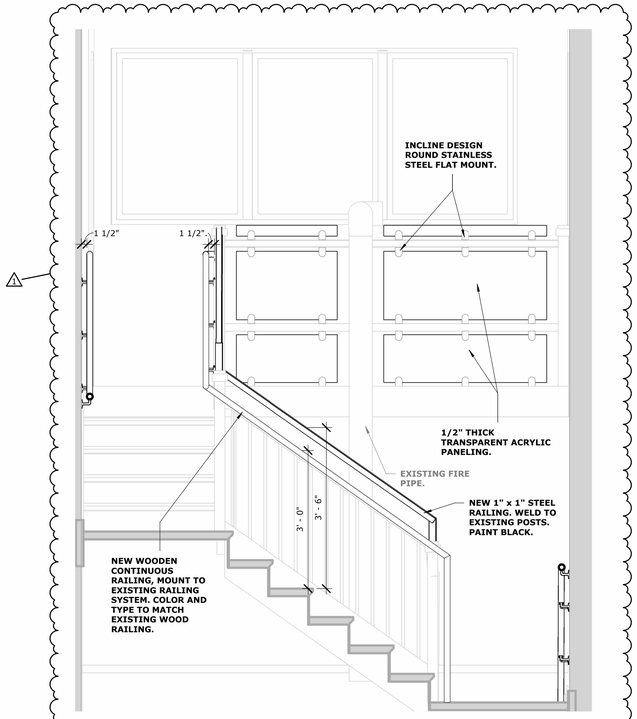
5 Section 2
A-202 1 1/2" = 1'-0"



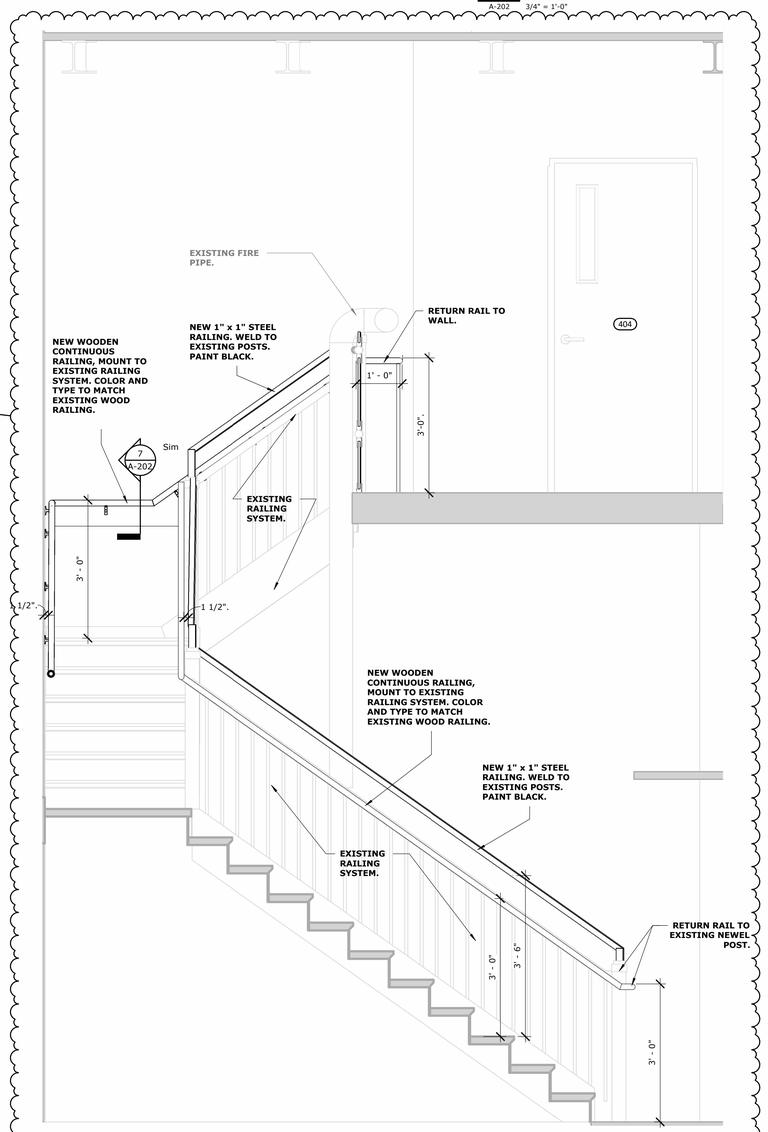
3 STAIR ELEVATION 3
A-202 3/4" = 1'-0"



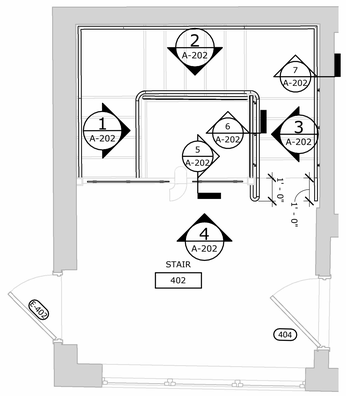
4 STAIR ELEVATION 4
A-202 3/4" = 1'-0"



2 STAIR ELEVATION 2
A-202 3/4" = 1'-0"



1 STAIR ELEVATION 1
A-202 3/4" = 1'-0"



KEYPLAN

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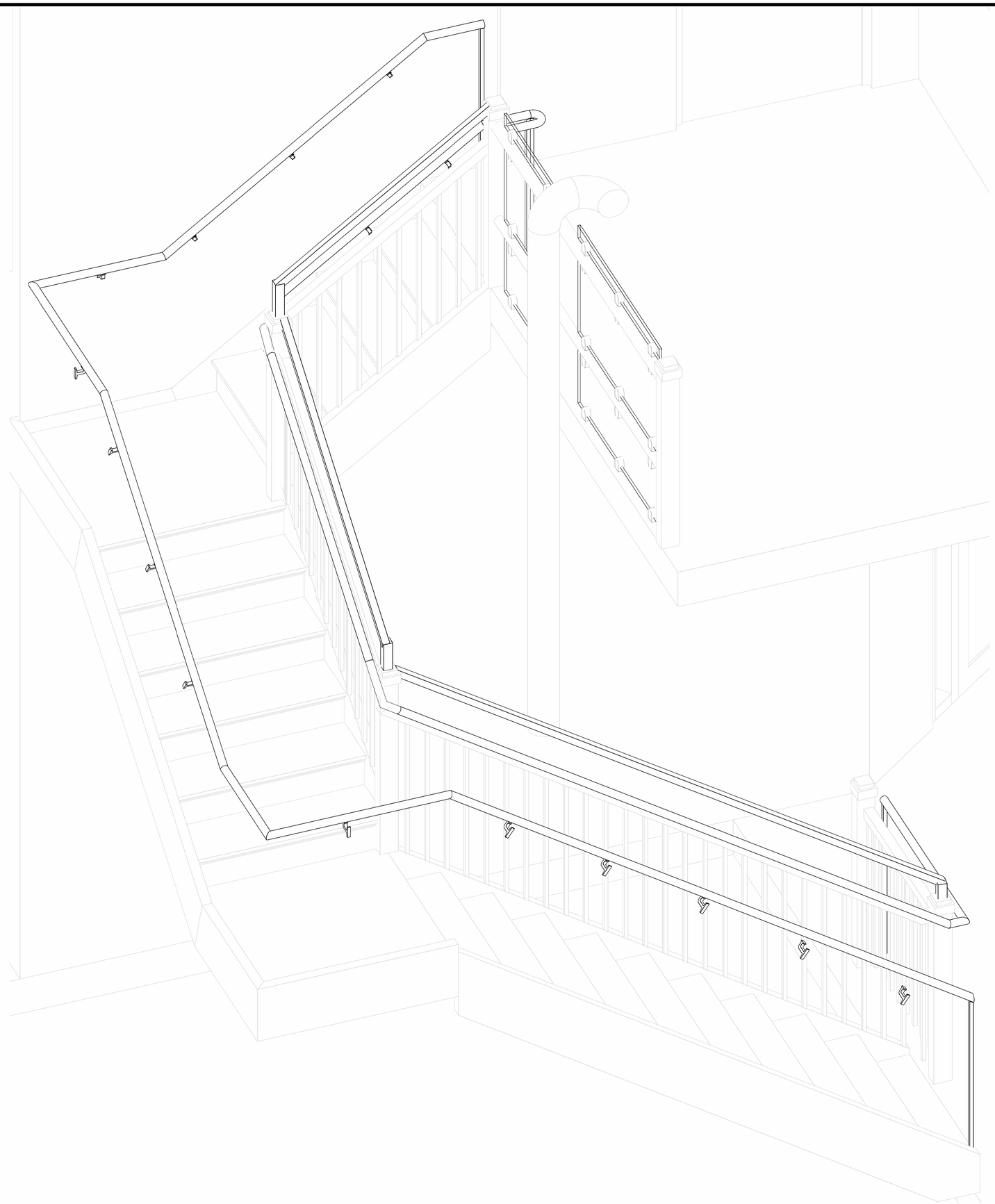
INTERIOR STAIRWAY ELEVATIONS

A-202

12/16/2025 12:45:27 PM



NOTE: THIS VIEW IS FOR ILLUSTRATION AND REFERENCE PURPOSES ONLY. REFER TO SHEET A-202 FOR NOTES AND DIMENSIONS.

1 STAIR ISO 1
A-203

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3D STAIRWAY VIEWS

A-203

12/16/2025 12:45:35 PM

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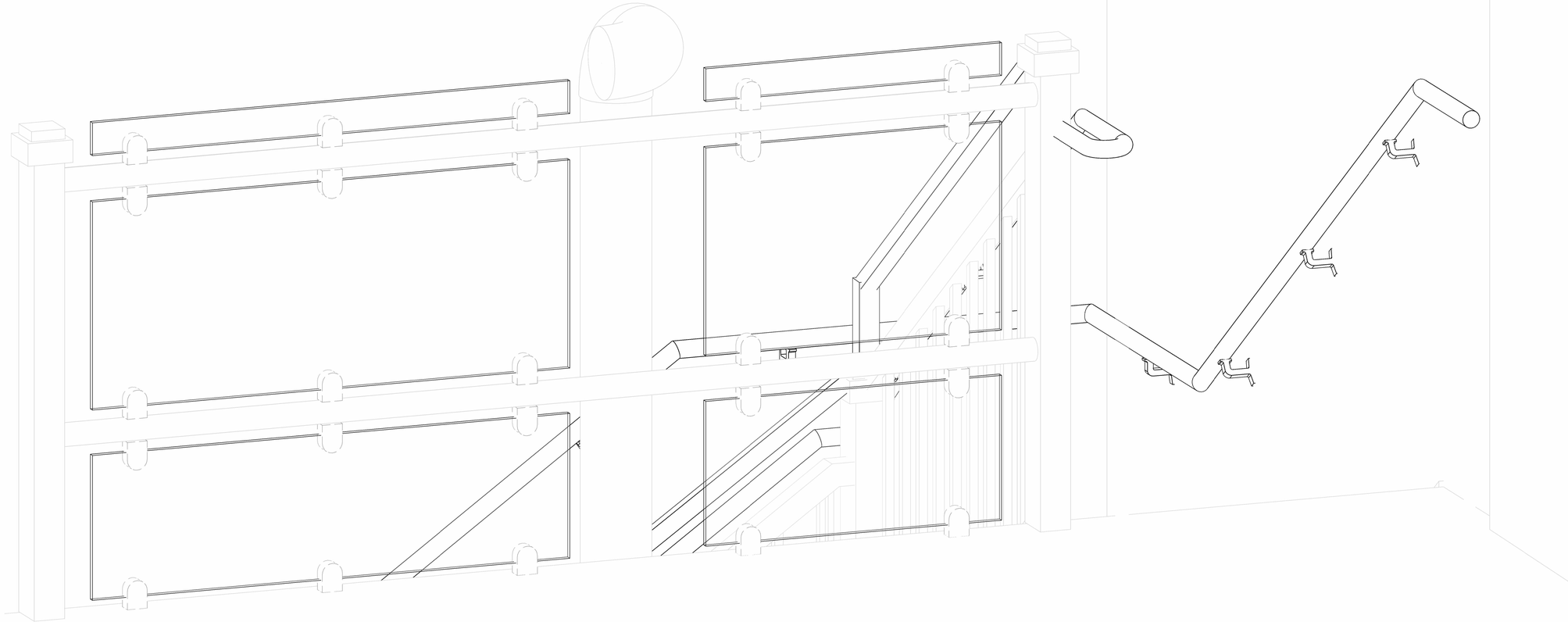

1 STAIR ISO 2
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3D STAIRWAY VIEWS

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